



Beachwood Planning and Zoning Commission Meeting Agenda - Amended
Thursday, May 30, 2024, 6:30 PM
at Beachwood City Hall, Council Chambers,
25325 Fairmount Boulevard, Beachwood, Ohio 44122

Agenda Items

1. Roll Call
2. Approval of Minutes of the April 25, 2024, Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission
2024-12 Debra S. Yasinow, on behalf of Jewish Federation of Cleveland, is requesting preliminary and final site plan approval for outdoor temporary signage located at 25701 Science Park Drive.
6. Planning and Zoning Commission
2024-2(A) Ryan Schmit, ThenDesign Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 25501 Bryden Road, Bryden Elementary School.
7. Planning and Zoning Commission
2024-4(A) Ryan Schmit, ThenDesign Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 24524 Hilltop Drive, Hilltop Elementary School.
8. Planning and Zoning Commission
2024-13 Matt Bedee, Middough, on behalf of BASF, is requesting preliminary site plan approval for a warehouse addition to be located at 23800 Mercantile Road.
9. Planning and Zoning Commission
2024-14 Melissa Reynolds, Rolen Brothers Fence Co., Inc., is requesting preliminary and final site plan approval for fence replacement along Cedar Road for property located at 24230 Community Drive.
10. Planning and Zoning Commission
2024-16 Marc Cohen, North Coast Architects, Inc., is requesting preliminary and final site plan approval for a one-story addition to the existing building at 24700 Highpoint Road, IHI IonBond, Inc.
11. Planning and Zoning Commission
2024-18 George Smerigan, City Planner, on behalf of Aleksandar and Mariya Geube, property owners, is requesting preliminary and final approval for the lot consolidation of PPN 741-34-010, 25771 Hurlingham Road, and PPN 741-34-011, City of Beachwood.

*****PENDING*****

1. Planning and Zoning Commission
2024-9 James B. Heller, on behalf of Beachwood Office LLC, property owner, is requesting preliminary and final approval for variance to permit ADA compatible residential units on the first floor of the building located at 23250 Chagrin Blvd.

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: _____

OWNER OF BUILDING: Jewish Federation of Cleveland PHONE: 216-593-2900

STREET ADDRESS: 25701 Science Park Drive

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Debra S. Yasinow PHONE: 216-593-2890

COMPANY OR FIRM: Jewish Federation of Cleveland

EMAIL: dyasinow@jewishcleveland.org

STREET ADDRESS: 25701 Science Park Drive

CITY/STATE/ZIP: Beachwood, OH 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address): TBD

DESCRIPTION OF THE PROPERTY:

ADDRESS: 25701 Science Park Drive, Beachwood, OH 44122

TENANT NAME: Jewish Federation of Cleveland

PERMANENT PARCEL # _____ - _____ - _____ **PRESENT USE:** _____ **PROPOSED USE:** _____

PURPOSE OF APPLICATION: Renewal of Permit issued on Dec. 8, 2023. Request for an additional 180 days.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment

Other: Renewal of Permit issued on December 8, 2023. Request for an additional 180 days.

Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

Tragically, 129 of the men, women, and children abducted by Hamas on October 7, 2023 are still being held hostage. We pledge to keep their memory alive until they are returned home to Israel.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.

***** (OVER) CONTINUED ON BACK*****

- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission.

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Debra S. Yasinow
PRINTED NAME

04.22.24
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. 2024-12 MEETING DATE: 5/30/24

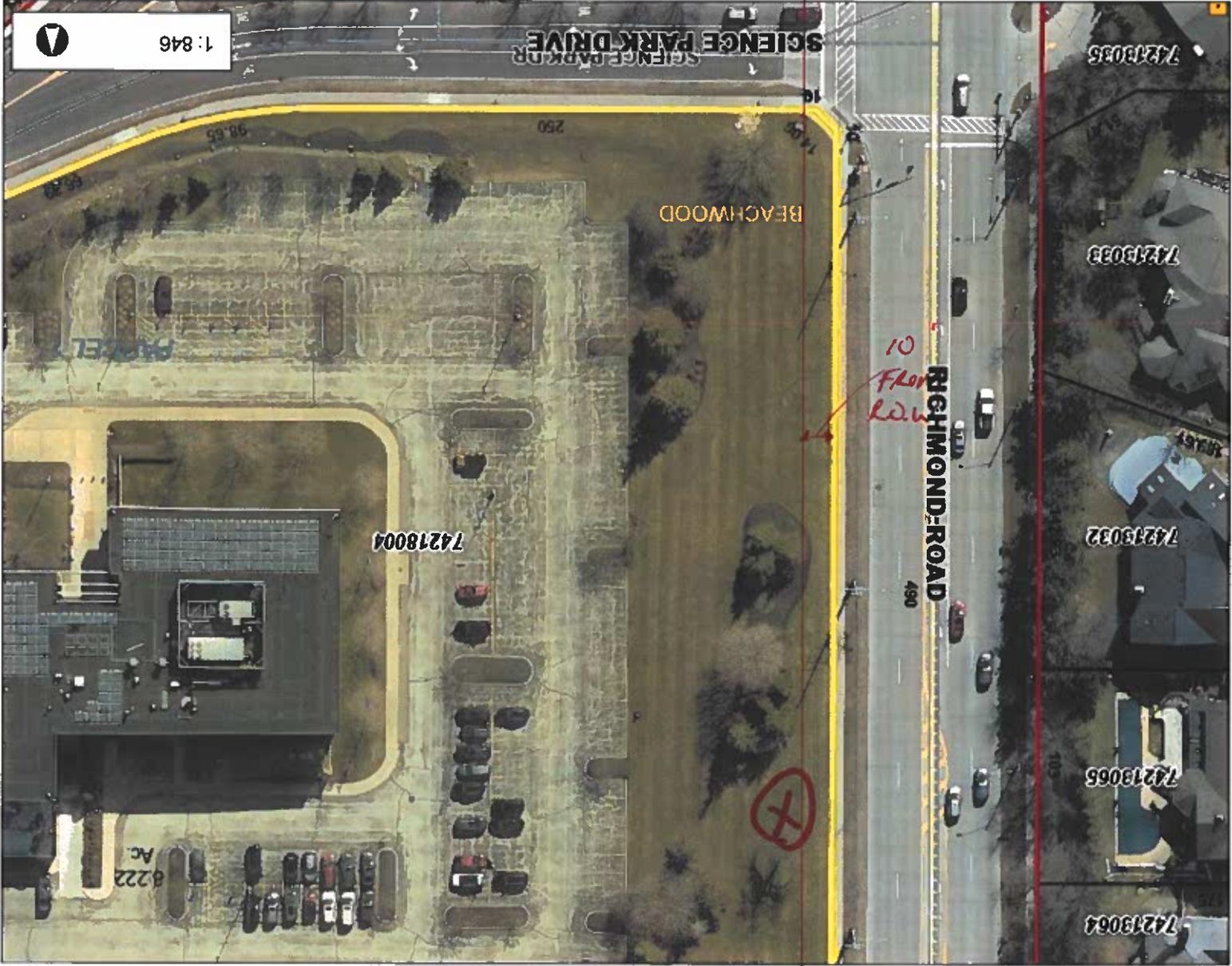
FEE: RECEIPT # 2024-02873 AMOUNT \$ 785- DATE PAID 4/22/24

DEPOSIT: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____



Projection: WGS_1984_Web_Mercator_Auxiliary_Sphere
141 70 0 141 Feet
This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

- Date Created: 11/15/2023
- Legend**
- Municipalities
 - Right Of Way
 - Platted Centerline
 - Parcel



VCI # 45255

PO # NA

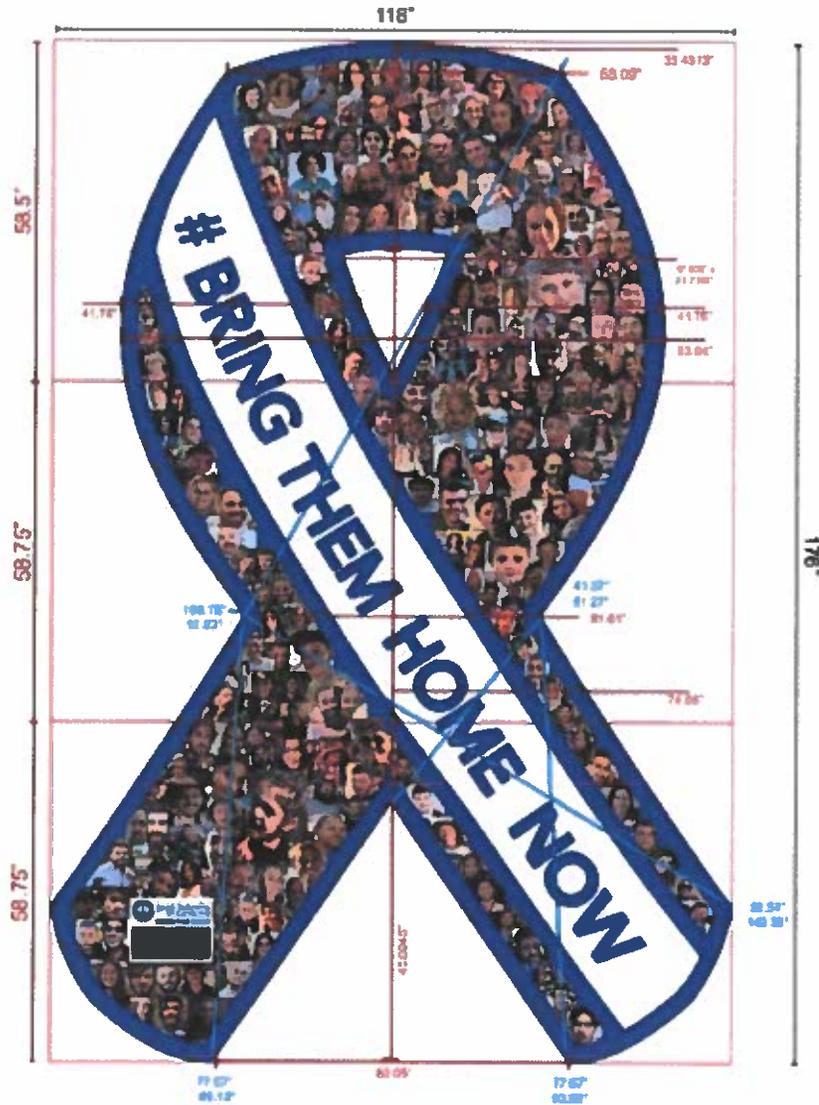
Code A

Ribbon Art

P1

P2

P3

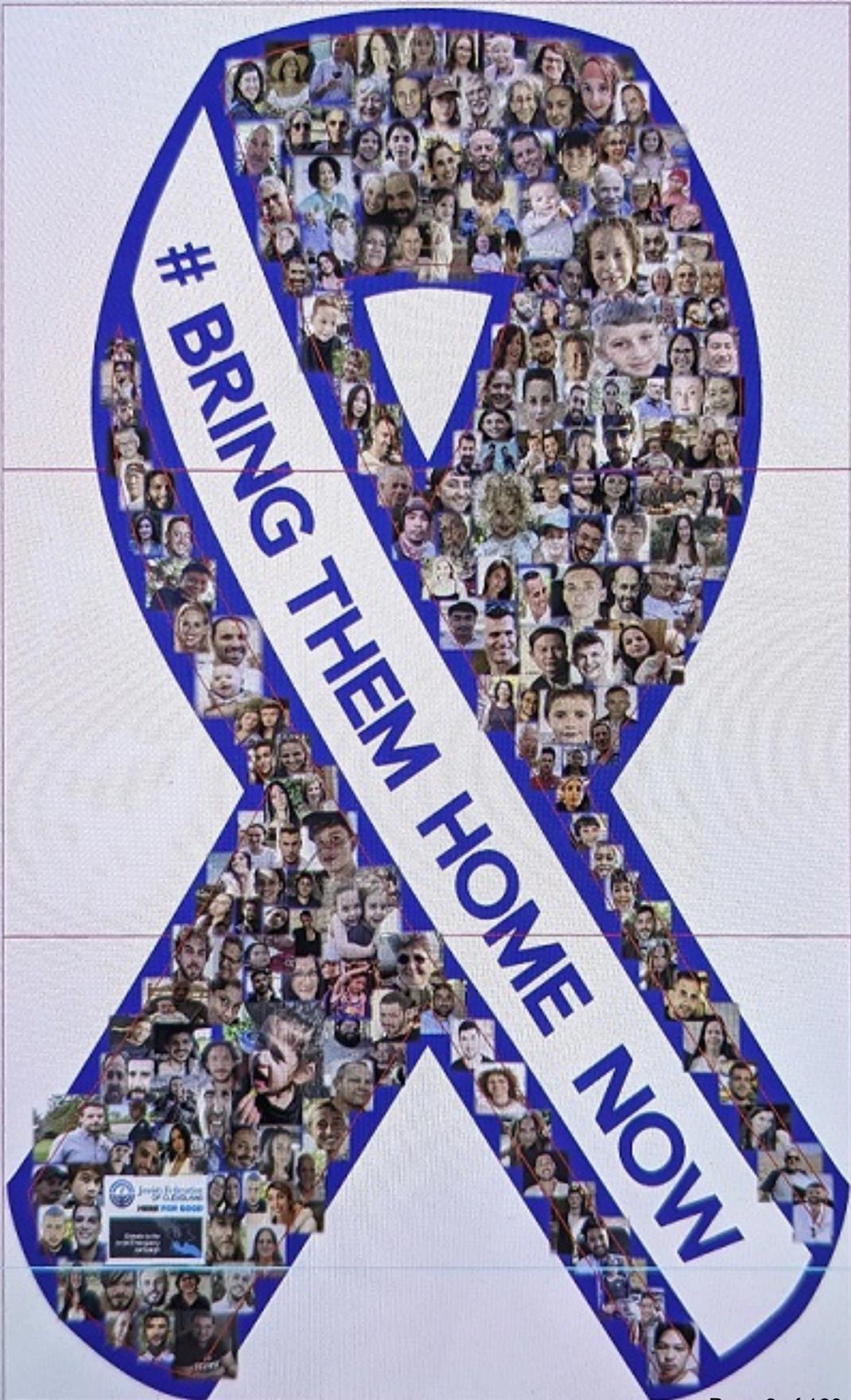


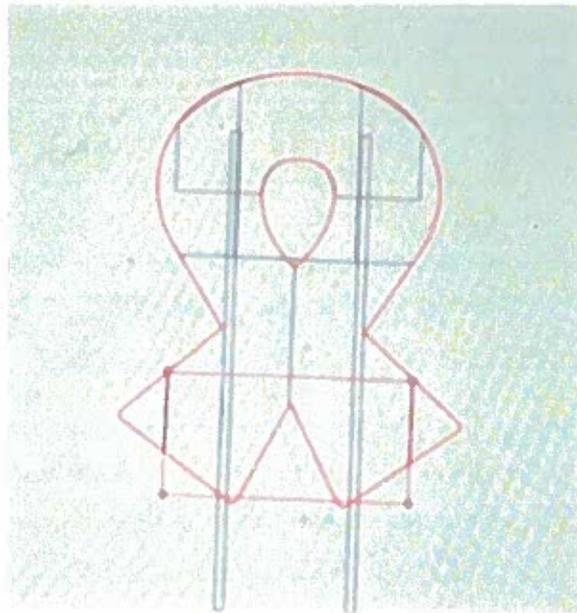
x2 each

ACM White 1/4"
Color 93-84-0-0 Blue



<small>11/16/11 10:56 AM</small> Archie Chased Fairmont Temple	
<small>PROJECT DESCRIPTION</small> Ribbon Art	
<small>DATE</small> 11/16/11	<small>PERIOD</small> SN
<small>PRINTED BY</small> Vista Color Imaging - 4770 Van Dyke Rd Brooklyn Heights, Ohio 44131 Phone (216) 651-2810	



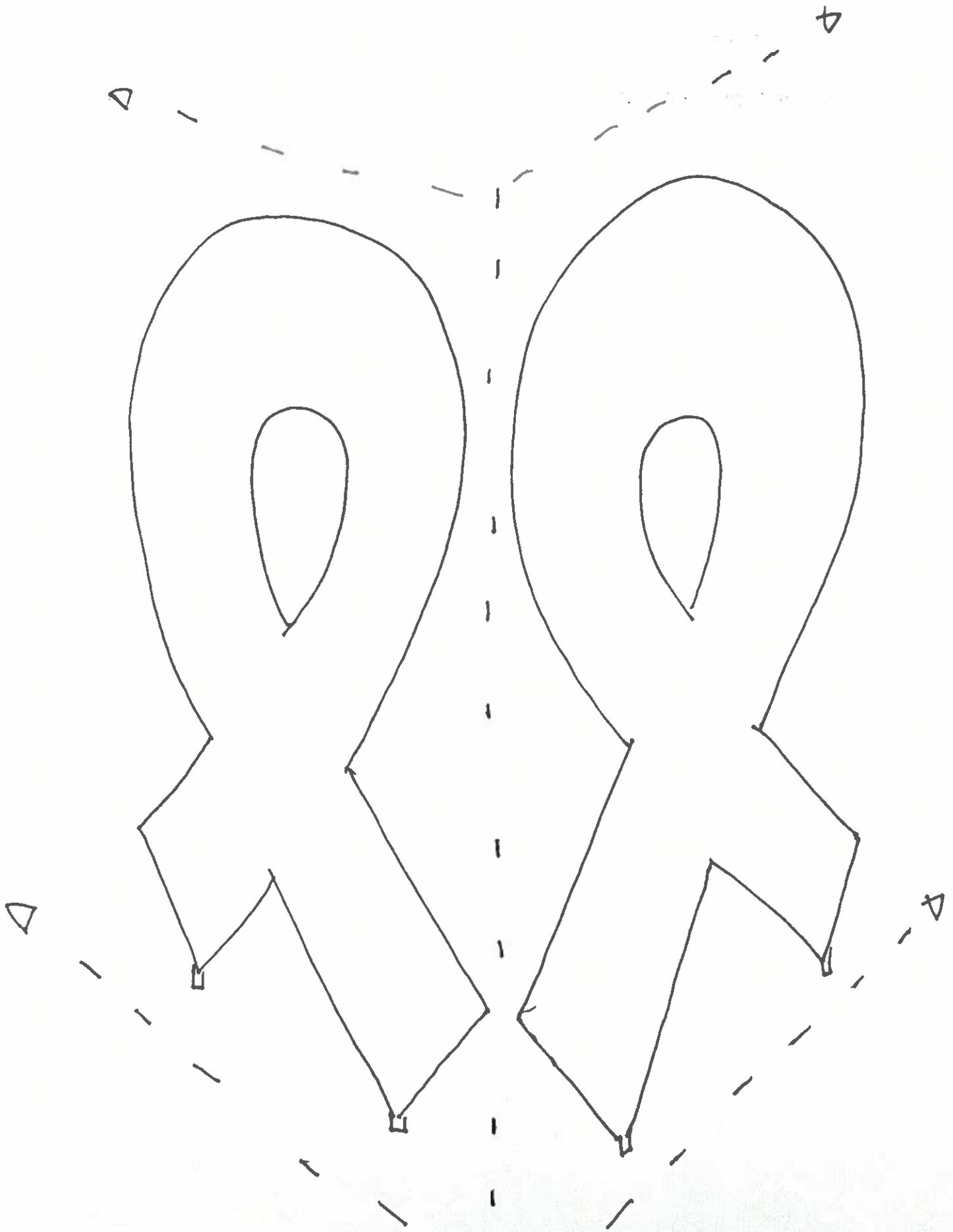


approx 15' high by 10' wide

off ground - 3-4'

Support - steel

ribbon - ASM composite (aluminum & vinyl)



P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 8, 2024



RE: **P&Z 2024-12 Jewish Federation of Cleveland
25701 Science Park Drive
Temporary Sign Time Extension**

This request is for a time extension of 180 days for the previously approved temporary sign. The existing sign was granted a variance by City Council with a stipulation that it be removed after a specified time period. The applicant is seeking to extend the time period for an additional 180 days. The subject site is in the U-8A Office Building and Research District. The time extension will require modification of the previously approved variance. Since the variance and time stipulation were approved by City Council, the Commission will need to act in the form of a recommendation to City Council to extend the previously approved temporary sign variance for an addition 180 days.



GPD GROUP®
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545

www.gpdgroup.com

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 21, 2024

2022120.02

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 5

P & Z 2024-12 Debra S. Yasinow, on behalf of Jewish Federation of Cleveland, is requesting preliminary and final site plan approval for outdoor temporary signage located at 25701 Science Park Drive.

There are no Engineering comments on this application.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-12 Signage

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 04/26/24

OWNER OF BUILDING: Beachwood Board of Education PHONE: 216-464-2600

STREET ADDRESS: 24601 Fairmount Boulevard

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Ryan Schmit PHONE: 216-269-2266

COMPANY OR FIRM: tda

EMAIL: rschmit@thendesign.com

STREET ADDRESS: 4230 River Street

CITY/STATE/ZIP: Willoughby, OH 44022

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Ryan Schmit (rschmit@thendesign.com), Robert Hardis (rph@beachwoodschoo

Ken Veon (kev@beachwoodschoo

DESCRIPTION OF THE PROPERTY:

ADDRESS: 25501 BRYDEN RD, BEACHWOOD, OH, 44122 SUITE # _____

TENANT NAME: Bryden Elementary School

PERMANENT PARCEL # 742 - 13 - 039 PRESENT USE: school PROPOSED USE: school

PURPOSE OF APPLICATION: Final site plan approval.

Zoning setback and wetland setback variances were previously approved.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
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A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

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(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	\$300.00
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(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Digitally signed by Ryan P. Schmit
DN: C=US, E=rschmit@thendesign.com,
O=IDA, CN=Ryan P. Schmit
Date: 2023.12.19.17:05:21-05'00'
Ryan P. Schmit
SIGNATURE

Ryan P. Schmit
PRINTED NAME

04/26/2024
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

APPLICANT: Bryden Elementary School

P&Z:	ZONING DATA		DATE: 12/21/23
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U5	U5	
MINIMUM LOT AREA	18,000 sf	661,181 sf	
MINIMUM LOT FRONTAGE	100'	422'	
MINIMUM FRONT YARD BUILDING SETBACK	50'	499'	
MINIMUM SIDE YARD BUILDING SETBACK	20'	56'	
MINIMUM REAR YARD BUILDING SETBACK	40'	336'	
MAXIMUM BUILDING HEIGHT	40'	32'	
MINIMUM LANDSCAPED AREA	25% of total area = 165,295 sf		
MINIMUM PARKING SETBACKS	Front = 20' Side = 10' Rear = 20'	Front = 58' Side = 6' Rear = 611'	4' side
MINIMUM DRIVE AISLE	24'	24'	
MINIMUM PARKING STALL	9' x 20' = 180sf	9' x 20' 180sf	
MINIMUM OFF-STREET PARKING	32 classrooms x 2 = 64 2,250/200 = 12 76 total spaces	96 total spaces	
SITE DEVELOPMENT PLANS			

Bryden Elementary Existing Context Photos



Existing Perimeter - Southwest



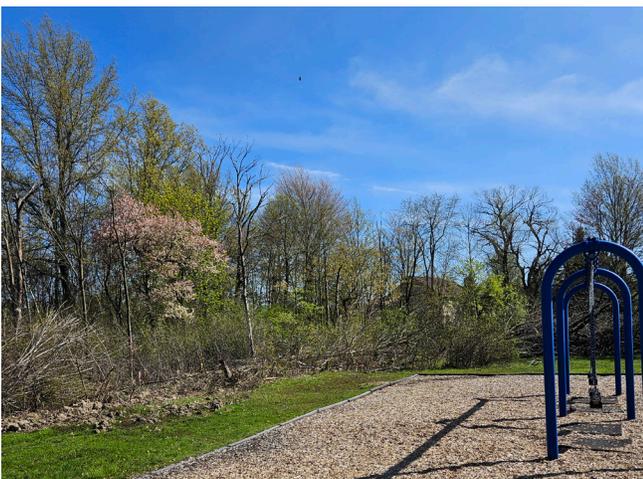
Existing Perimeter - Northwest



Existing Perimeter - North Drive



Existing Perimeter - North



Existing Perimeter - North



Existing Perimeter - Northeast

Bryden Elementary
Existing Context Photos



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - East

Bryden Elementary
Existing Context Photos



Existing Perimeter - East



Existing Perimeter - East



Existing Perimeter - Southeast



Existing Perimeter - South



Existing Perimeter - Southwest



April 26, 2024

Mr. Brian Roenigk
City of Beachwood Building Commissioner
25325 Fairmount Blvd #1
Beachwood, OH 44122

Re: Bryden Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Engineering Report dated January 9, 2024 discussed at the January 18th, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

- The 12" drainage pipe discussed at the meeting has been re-aligned, so that it no longer impacts the jurisdictional wetland.

If you have any further questions, please contact me.

Sincerely,

Thorson · Baker + Associates, Inc.

David L. Myers, P.E. & P.S.
Department Manager – Civil Engineering Department



April 26, 2024

Mr. Brian Roenigk
City of Beachwood Building Commissioner
25325 Fairmount Blvd
Beachwood, OH 44122

Re: Bryden Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Fire Prevention Bureau Report dated January 9th, 2024 discussed at the January 18th, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

1. Fire lanes have been provided around the building as discussed at the P & Z meeting on January 18th, 2024. In addition, there was a second meeting held at the Beachwood School Board Offices on April, 16th where fire lanes were discussed with fire department officials and approved.
2. A new FDC connection is indicated at the location of the new water service vault near Letchworth Road as discussed at the April 16th, 2024 meeting at the Beachwood School Board Offices.
3. Fire hydrants are located around the perimeter of the new building. The location of the fire hydrants were reviewed and approved by fire department officials at the April 16th, 2024 meeting at Beachwood School Board Offices.
4. No response required.

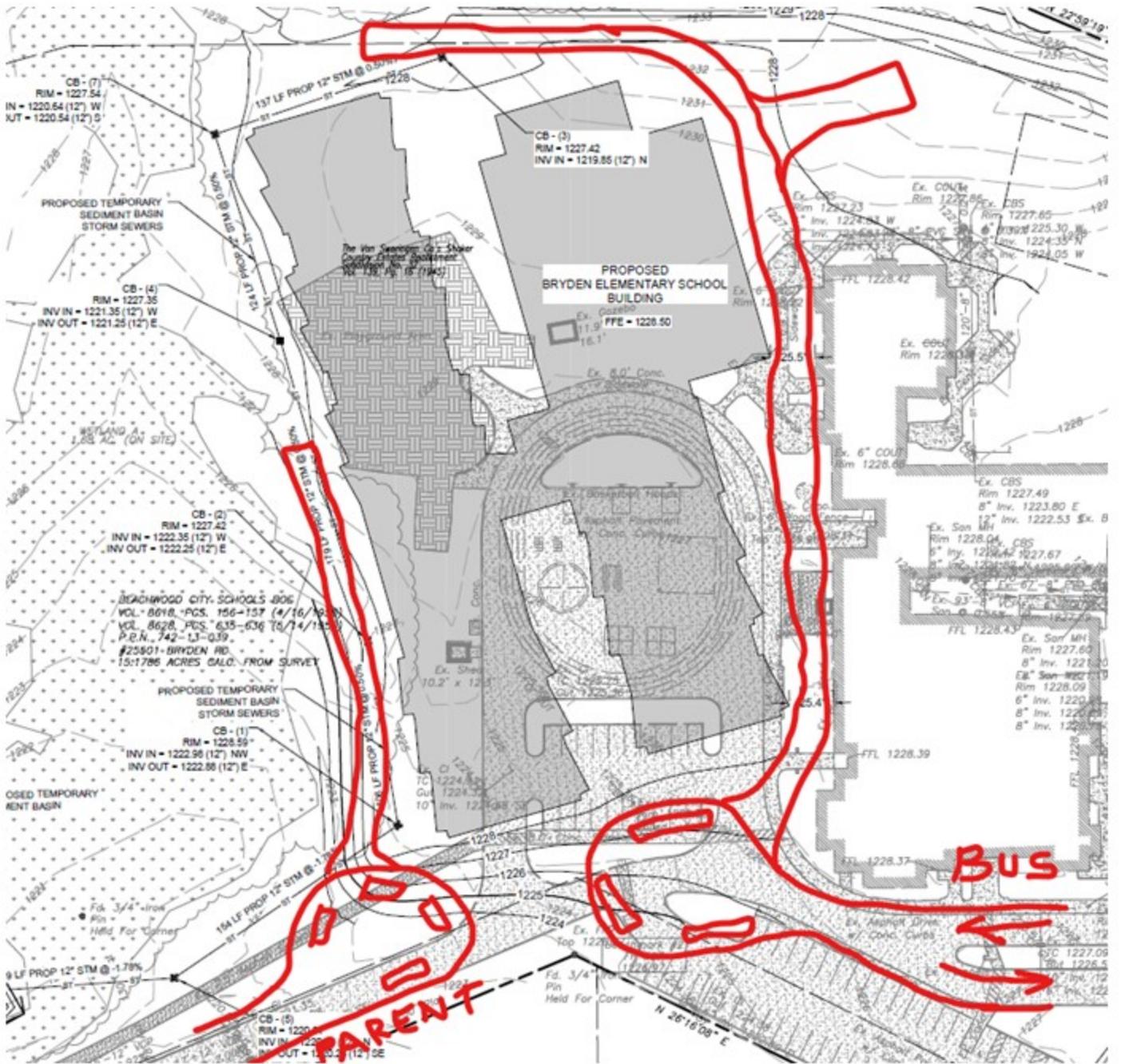
If you have any further questions, please contact me.

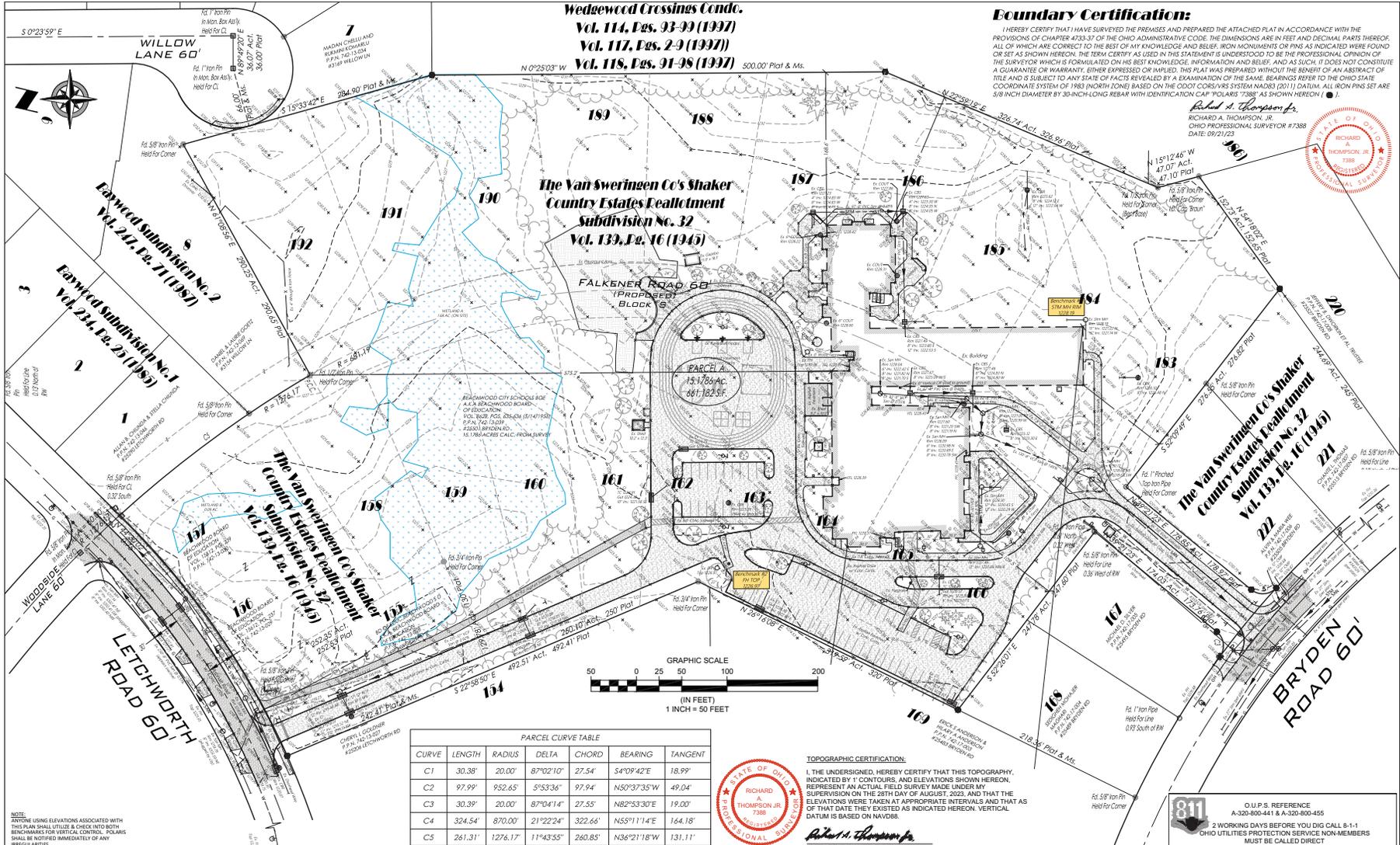
Sincerely,

Thorson • Baker + Associates, Inc.

David L. Myers, P.E. & P.S.
Department Manager – Civil Engineering Department

Bryden:





Boundary Certification:

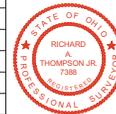
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4753.93 OF THE OHIO ADMINISTRATIVE CODE. THE DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IRON MONUMENTS OR PINS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON. THE TERM CERTIFY AS USED IN THIS STATEMENT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THE SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS REVEALED BY A EXAMINATION OF THE SAME. BEARINGS REFER TO THE OHIO STATE COORDINATE SYSTEM OF 1983 (NORTH ZONE) BASED ON THE GOOD CONSERV SYSTEM NAD83 (2011) DATUM. ALL IRON PINS SET ARE 5/8 INCH DIAMETER BY 30-INCH-LONG REBAR WITH IDENTIFICATION CAP "POLARIS 7388" AS SHOWN HEREON. ()

Richard A. Thompson, Jr.
 RICHARD A. THOMPSON, JR.
 CHICHO PROFESSIONAL SURVEYOR #7388
 DATE: 09/21/23



TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY "1" CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 28TH DAY OF AUGUST, 2023, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.



Richard A. Thompson, Jr.
 RICHARD A. THOMPSON, JR., P.S. #7388

REV. NO.	DATE	BY

DATE: 2/19/24 DRAWN: SRB
 SCALE: HOR 1"=50' VERT. N/A
 FOLDER: DWG/Proj_Surveying
 FILENAME: 23143_Survey_Base
 TAB: 01-Existing Conditions
 BNDY_CHK: XXX-xxx/20xx
 BASE_CHK: XXX-xxx/20xx

SYMBOL LEGEND	
Ex. Clean Out	Ex. Sanitary Manhole
Ex. Catch Basin	Prop. Sanitary Manhole
Prop. Catch Basin	Prop. Curb Inlet
Ex. Yard Drain	Ex. Curb Inlet
Ex. Manhole	Ex. Gas Meter
Ex. Storm Manhole	Ex. Gas Meter
Prop. Storm Manhole	Ex. Gas Valve
Ex. Water Valve	Ex. Water Meter
Ex. Fire Hydrant	Prop. Hydrant
Prop. Hydrant	Prop. WL Valve
Well	Well
Test Bore	Test Bore
Ex. Electrical Box	Ex. Tree
Ex. Guy Wire	Ex. Pole Tree
Ex. Power Pole	Ex. Mailbox
Ex. Light Power Pole	Ex. Sign
Ex. Light Pole	Ex. Telephone Box
Prop. Light Pole	Guard Post
Ex. Monument Box	Cable TV Box
Irrigation Valve	Irrigation Valve
Sprinkler Control Box	Sprinkler Head
Traffic Signal Pole	Traffic Signal Pole
Traffic Signal Box	Traffic Signal Box

811 O.U.P.S. REFERENCE
 A-320-800-441 & A-320-800-455
 2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
 MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE SUBJECT'S NOR ACCURACY THEREOF.

NOTE: THIS SURVEY IS SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

25501 BRYDEN ROAD
 CITY OF BEACHWOOD - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
 14600 CHARDON ROAD - SUITE 400
 WILLOUGHBY HILLS, OHIO 44094
 CONTACT: KEN YEON
 www.polaris-es.com

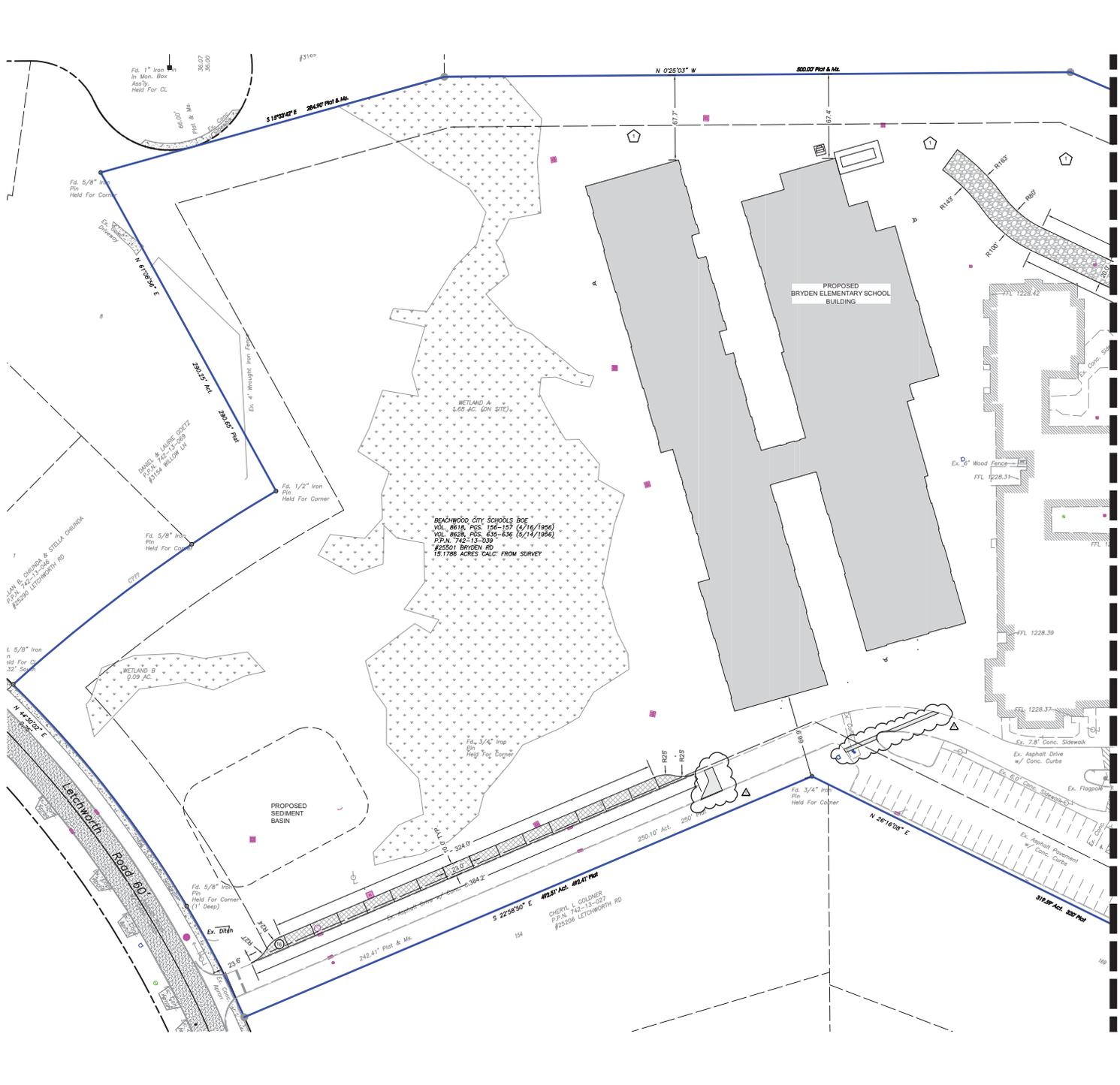
EXISTING CONDITIONS

PREPARED FOR:
 BEACHWOOD CITY SCHOOLS
 2481 FAIRMOUNT RD.
 BEACHWOOD, OHIO
 PHONE: (440) 412-1748
 CONTACT: KEN YEON

CONTRACT NO.
23143

SHEET	OF
01	01

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/12/24	ISSUE FOR PERMIT	TBA	TBA
2	04/12/24	ISSUE FOR PERMIT	TBA	TBA
3	04/12/24	ISSUE FOR PERMIT	TBA	TBA
4	04/12/24	ISSUE FOR PERMIT	TBA	TBA
5	04/12/24	ISSUE FOR PERMIT	TBA	TBA
6	04/12/24	ISSUE FOR PERMIT	TBA	TBA
7	04/12/24	ISSUE FOR PERMIT	TBA	TBA
8	04/12/24	ISSUE FOR PERMIT	TBA	TBA
9	04/12/24	ISSUE FOR PERMIT	TBA	TBA
10	04/12/24	ISSUE FOR PERMIT	TBA	TBA
11	04/12/24	ISSUE FOR PERMIT	TBA	TBA
12	04/12/24	ISSUE FOR PERMIT	TBA	TBA
13	04/12/24	ISSUE FOR PERMIT	TBA	TBA
14	04/12/24	ISSUE FOR PERMIT	TBA	TBA
15	04/12/24	ISSUE FOR PERMIT	TBA	TBA
16	04/12/24	ISSUE FOR PERMIT	TBA	TBA
17	04/12/24	ISSUE FOR PERMIT	TBA	TBA
18	04/12/24	ISSUE FOR PERMIT	TBA	TBA
19	04/12/24	ISSUE FOR PERMIT	TBA	TBA
20	04/12/24	ISSUE FOR PERMIT	TBA	TBA



MATCH LINE. SEE SHEET CES201

- LEGEND**
- PROPOSED AGGREGATE. SEE AGGREGATE PAVEMENT DETAIL ON SHEET CES600
 - PROPOSED AGGREGATE. SEE CONSTRUCTION ENTRANCE DETAILS AND SPECIFICATIONS ON SHEET CES703
 - PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES600
- KEY NOTES**
- PROPOSED CONTRACTOR LAYDOWN AREA. TO BE IMPROVED WITH TEMPORARY AGGREGATE PAVEMENT. LIMITS TO BE DETERMINED BY CONTRACTOR.

SITE DATA

ADDRESS: 2501 BRYDEN ROAD, BEACHWOOD, OH 44122

ZONING DISTRICT: U-5 PUBLIC AND INSTITUTIONAL

SITE AREA: 15.18 AC.

AREA OF DISTURBANCE: 9.26 AC.

CURRENT USE: U-5 PUBLIC AND INSTITUTIONAL

PROPOSED USE: U-5 PUBLIC AND INSTITUTIONAL

	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	40'	32'
MIN. STREET FRONTAGE	250'	422'
FRONT YARD BLDG. SETBACK	50'	499'
SIDE YARD BLDG. SETBACK	40'	50'
REAR YARD BLDG. SETBACK	40'	330'
SIDE YARD PARKING SETBACK	10'	0'
REAR YARD PARKING SETBACK	10'	611'
MAX. BUILDINGS COVERAGE	25%	10.9%
MIN. PLANTED AREA COVERAGE	25%	25%
PARKING SPACE SIZE:	180 SF.	230 SF.
DRIVE AISLE MIN 20'	24'	24'

TBA
Thorson Baker Associates
3000 West Strickland Road, Columbus, Ohio 43268
(614) 659-6600 FAX (614) 659-6675 FAX

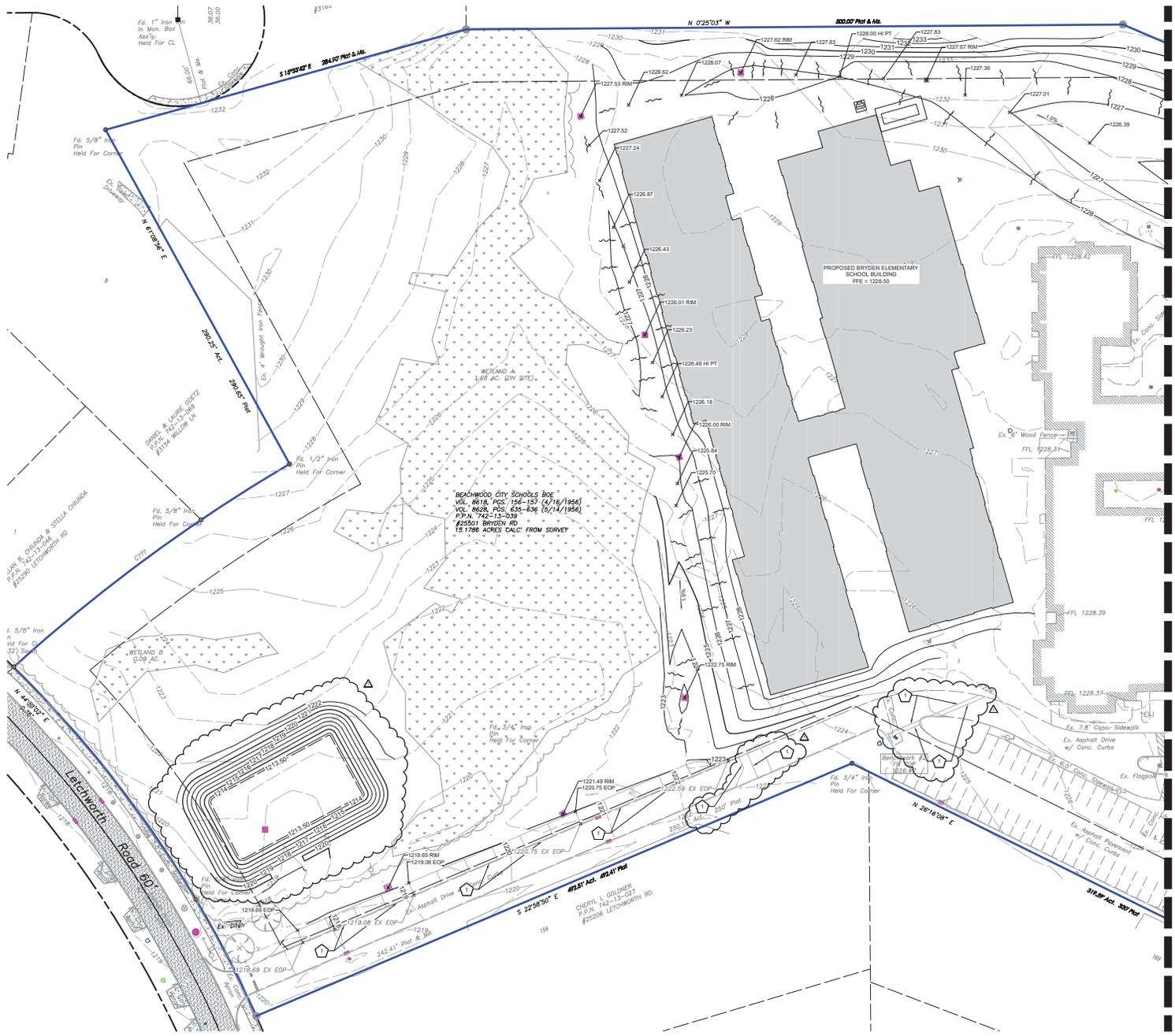


GEOMETRIC PLAN
1"=32'



NO.	REV.	DATE	DESCRIPTION
1	01	04/17/24	ISSUE FOR PERMIT
2	01	04/17/24	ISSUE FOR PERMIT
3	01	04/17/24	ISSUE FOR PERMIT
4	01	04/17/24	ISSUE FOR PERMIT
5	01	04/17/24	ISSUE FOR PERMIT
6	01	04/17/24	ISSUE FOR PERMIT
7	01	04/17/24	ISSUE FOR PERMIT
8	01	04/17/24	ISSUE FOR PERMIT
9	01	04/17/24	ISSUE FOR PERMIT
10	01	04/17/24	ISSUE FOR PERMIT

NO.	REV.	DATE	DESCRIPTION
1	01	04/17/24	ISSUE FOR PERMIT
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7	01	04/17/24	ISSUE FOR PERMIT
8	01	04/17/24	ISSUE FOR PERMIT
9	01	04/17/24	ISSUE FOR PERMIT
10	01	04/17/24	ISSUE FOR PERMIT



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATIONS
- DRAINAGE FLOW ARROW
- EXISTING WETLANDS

KEY NOTES

- MEET & MATCH EXISTING PAVEMENT ELEVATION

MATCH LINE. SEE SHEET CES301

TBA
Thorson Baker Associates
CONSULTING ENGINEERS
3000 West Strawn Road, Columbus, OH 43228
(614) 695-6600 FAX (614) 695-6675 FAX



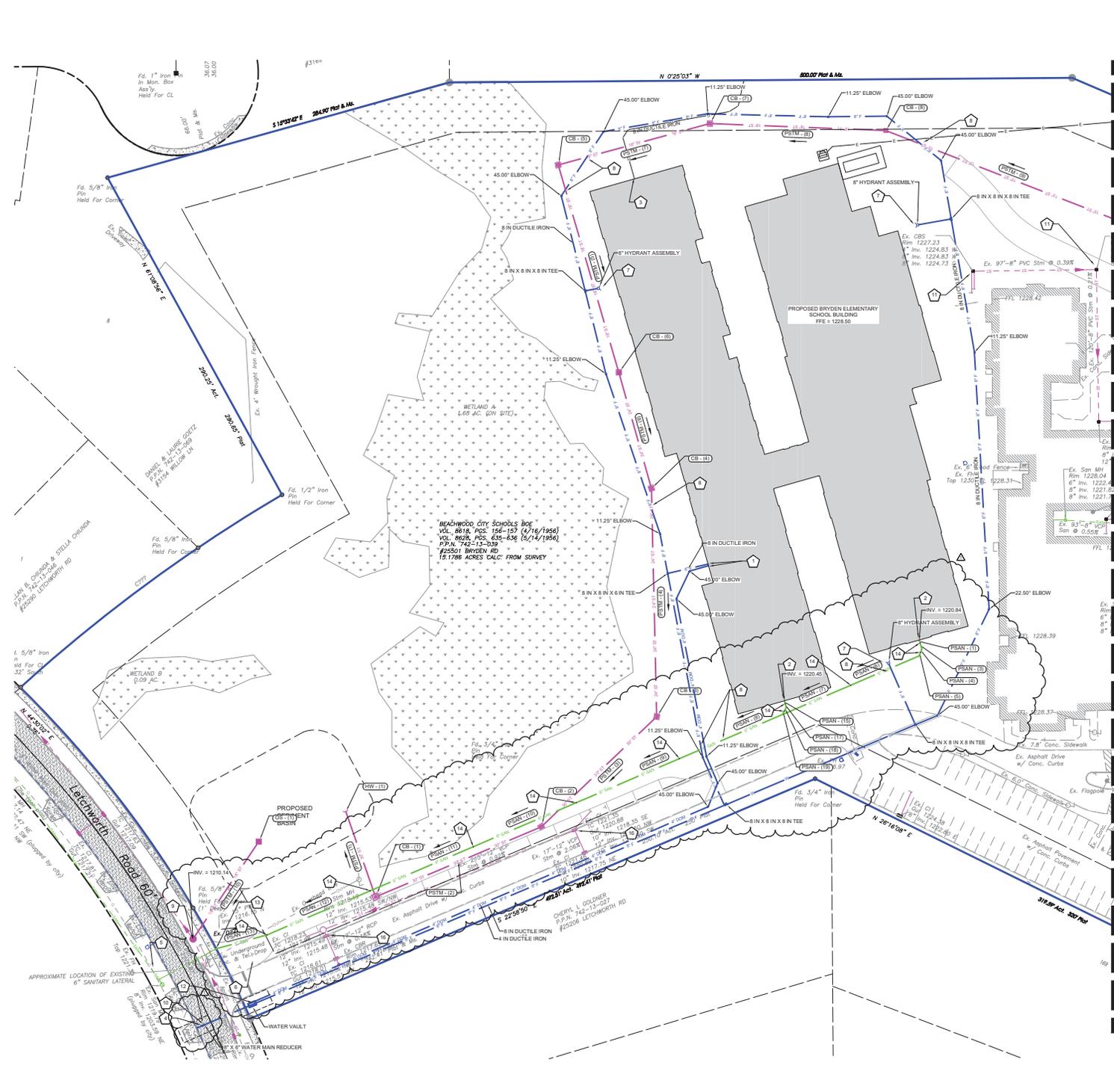
GRADING PLAN
1" = 30'



GRADING PLAN

Sheet No: CES300
Sheet Number: CES300
Date: 2006.4

NO.	DATE	BY	DESCRIPTION
1	04/23/24	TD	ISSUED FOR PERMIT
2	04/23/24	TD	ISSUED FOR PERMIT
3	04/23/24	TD	ISSUED FOR PERMIT
4	04/23/24	TD	ISSUED FOR PERMIT
5	04/23/24	TD	ISSUED FOR PERMIT
6	04/23/24	TD	ISSUED FOR PERMIT
7	04/23/24	TD	ISSUED FOR PERMIT
8	04/23/24	TD	ISSUED FOR PERMIT
9	04/23/24	TD	ISSUED FOR PERMIT
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14	04/23/24	TD	ISSUED FOR PERMIT
15	04/23/24	TD	ISSUED FOR PERMIT
16	04/23/24	TD	ISSUED FOR PERMIT
17	04/23/24	TD	ISSUED FOR PERMIT
18	04/23/24	TD	ISSUED FOR PERMIT
19	04/23/24	TD	ISSUED FOR PERMIT
20	04/23/24	TD	ISSUED FOR PERMIT



- LEGEND**
- SAN — EXISTING SANITARY
 - ST — EXISTING STORM
 - W — EXISTING WATER
 - E — EXISTING ELECTRIC
 - G — PROPOSED ELECTRIC (SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.)
 - GAS — PROPOSED GAS (SHOWN FOR HORIZONTAL ROUTING REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.)
 - SAN — PROPOSED SANITARY
 - ST — PROPOSED STORM
 - W — PROPOSED WATER LINE (SEE DETAILS AND SPECIFICATIONS ON SHEET CES601)
 - E — PROPOSED FIRE LINE (SEE DETAILS AND SPECIFICATIONS ON SHEET CES601)
 - DOM — PROPOSED DOMESTIC LINE (SEE DETAILS AND SPECIFICATIONS ON SHEET CES601)
 - CB (1) — PROPOSED CATCH BASIN (CB) CURB INLET (CI) (SEE SHEET CES600 FOR DETAILS AND SPECIFICATIONS.)
 - CO — PROPOSED CLEANOUT (CO) (SEE SHEET CES602 FOR DETAILS AND SPECIFICATIONS.)

- KEY NOTES**
1. TERMINATE AND STOP WATER LINE.
 2. TERMINATE AND STOP SANITARY LATERAL.
 3. CONNECT TO EXISTING GAS LINE. COORDINATE WITH UTILITY COMPANY. SEE MECHANICAL PLANS FOR SIZES, ETC.
 4. FURNISH AND INSTALL 8"X8" TAPPING SLAVE AND VALVE. INSTALL WATER VALVE.
 5. NOT USED.
 6. FURNISH AND INSTALL WATER MAIN VAULT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
 7. FURNISH AND INSTALL FIRE HYDRANT ASSEMBLY.
 8. MAINTAIN MIN. 18" VERTICAL CLEARANCE BETWEEN SEWER LINE AND WATER LINE. LOWER WATERLINE AS REQUIRED.
 9. CORE DRILL EXISTING STORM STRUCTURE. FILL AROUND PIPE PER ODOT ITEM 611.
 10. FURNISH AND INSTALL 1/2" X 6" REDUCER.
 11. ADJUST RIM OF EXISTING CATCH BASIN TO ACCOMMODATE FINISH GRADE ELEVATION OF CONSTRUCTION DRIVE AND CONTRACTOR LAYOUT AREA.
 12. BORE WATER LINE BELOW LEITCHWORTH ROAD PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
 13. CONNECT SANITARY LINE TO EXISTING 6" SANITARY LATERAL WITH SANITARY RISER. SEE DETAILS AND SPECIFICATIONS ON SHEET CES602.
 14. FURNISH AND INSTALL TEST TEE. SEE DETAIL ON SHEET CES602.
 15. NOT USED.
 16. REMOVE ODOT 3-A FRAME & GRATE. REPLACE W/ FLAT TOP. SET TOP ELEVATION TO FINISHED GRADE.

- NOTES:**
1. ALL SEWER WORK IN THE R/W OF PUBLIC ROAD SHALL BE BACK FILLED WITH LHM.
 2. MINIMUM SIZE OF SANITARY OR STORM SEWER LATERAL IS 6 INCH. USE SDR 35 UP TO 13 FEET DEEP AND USE SDR 26 FOR DEEPER DEPTHS. ALL SEWER WORK SHALL CONFORM TO THE COUNTY'S UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS.
 3. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

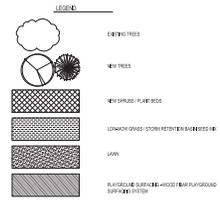
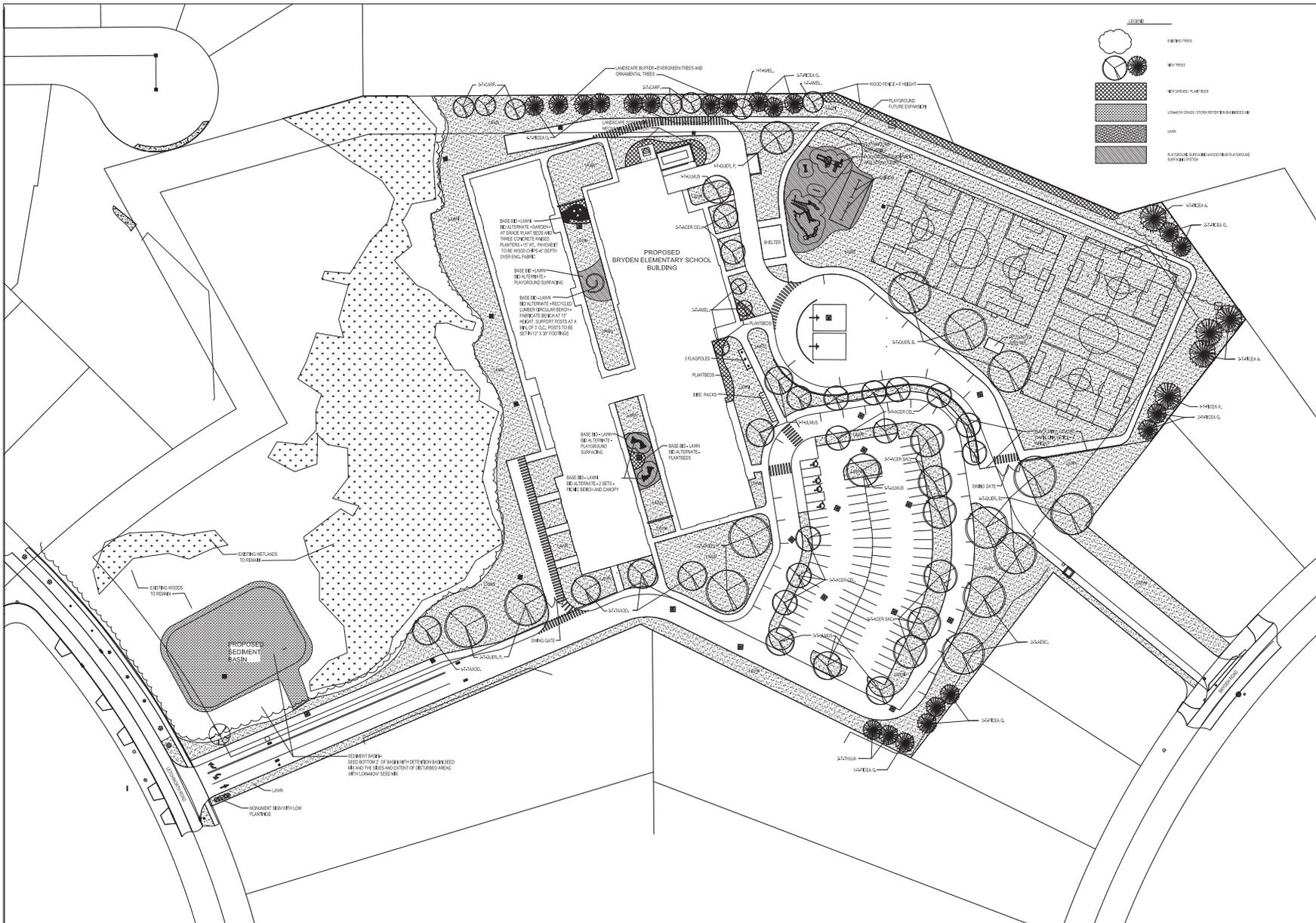
MATCH LINE. SEE SHEET CES400

TBA
 Thorson Baker Associates
 3300 West Stephenson Road
 Richmond, Ohio 45408
 (614) 659-6600 FAX
 (614) 659-6675 FAX



UTILITY PLAN
 TBA
 CES400
 20004





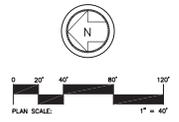
NOTE

- DATA NOT SHOWN -** FOR ALL RETENTION DATA NOT SHOWN, SEE APPLICABLE CONTRACT DOCUMENTS.
- MEASUREMENTS -** CONTRACTOR SHALL VERIFY ALL MEASUREMENTS IN THE FIELD, NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCY UNCOVERED IN THE FIELD IMMEDIATELY, TO DETERMINE ANY MODIFICATIONS REQUIRED.
- EXISTING UTILITIES -** THE EXISTING UTILITY DATA SHOWN IS FOR REFERENCE INFORMATION ONLY AND DOES NOT SHOW ALL EXISTING UTILITY DATA. SEE UTILITY PLAN.
- EXISTING TREES / PLANTS -** ALL EXISTING PLANT MATERIALS MAY NOT BE SHOWN. REMOVE ALL PLANTS AS SHOWN ON THE DEMOLITION PLAN ONLY. PLANT MATERIALS WITHIN CONSTRUCTION AREAS NOT SHOWN ON THE SURVEY SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. ADDITIONAL PLANT MATERIALS WITHIN CONSTRUCTION AREAS NOT SHOWN ON THE SURVEY SHALL BE ARCHITECT NOTIFIED TO DETERMINE IF REMOVAL OR RETENTION IS REQUIRED. REMOVE ADDITIONAL MATERIALS ONLY AS APPROVED BY ARCHITECT AND OWNER. ALL EXISTING PLANTS TO REMAIN WITHIN THE PROPERTY SHALL BE PROTECTED BY TREE PROTECTION FENCE OR SHALL BE EXCLUDED FOR THE CONSTRUCTION FENCED AREAS, AT A MINIMUM TO THE DRIP LINE OF THE TREE.

- NEW PLANTINGS -** CONTRACTOR SHALL LOCATE PLANT MATERIALS IN LOCATIONS AS SHOWN ON THE DRAWING FOR APPROVAL BY ARCHITECT. PRIOR TO DIGGING HOLES, ADJUST FINAL LOCATION TO AVOID FINAL LOCATION OF ALL UTILITIES AND LIGHTING. ALL TREES SHALL BE A MINIMUM OF 10' FROM FINAL LOCATIONS OF UTILITY AND LIGHT POLES.
- MULCH -** ALL NEW TREES AND SHRUBS SHALL RECEIVE A MIN. OF 2" DOUBLE SHREDDED BARK MULCH LAYER OVER PLANT BEDS AND TREE RINGS. PER DETAILS AND SPECIFICATIONS.
- TOPSOIL -** ALL SEEDED LAWN, BASKIN AND GRASS AREAS SHALL RECEIVE A MIN. OF 6" OF APPROVED TOPSOIL. ALL SHRUBS SHALL RECEIVE A MIN. OF 12" OF APPROVED PLANT BED MIX TOPSOIL. SEE SPECIFICATION - FINISHED GRADING, FOR ADDITIONAL REQUIREMENTS.
- LAWNS -** ALL AREAS IDENTIFIED AS LAWN AND ALL AREAS WITHIN THE CONSTRUCTION LIMITS NOT TO BE FINISHED WITH PAVEMENT, WALKWAYS, STRUCTURES OR PLANT BEDS SHALL BE SEED TO LAWN. EXTEND LAWN SEED TO LAWN AS NEEDED TO REPAIR ALL AREAS IMPACTED BY CONSTRUCTION.

- SITE FURNISHINGS -**
 - PICNIC SHELTER -** SEE ARCHITECTURAL DRAWINGS
 - BIKE RACKS - BASES OF DESIGN -** ORDER BIKE RACKS. SURFACE MOUNT INSTALLATION ON CONCRETE PAVEMENT OR CONCRETE PAD. POWER COAT FINISH. PROVIDE AND INSTALL 10 BIKE RACKS NEAR MAIN ENTRANCE AS SHOWN. COLORS TO BE A RANGE OF STANDARD COLORS INCLUDING YELLOW, RED, ORANGE, BLUE, PURPLE AND GREEN.
 - TRASH & RECYCLING CONTAINERS -** PROVIDE 5 SETS OF TWO CONTAINERS - INSTALL AT MAIN ENTRANCE. EACH PLAYGROUND AND EACH COURTYARD ON CONCRETE PAVEMENT OR CONCRETE PAD BASES OF DESIGN.
 - FORMS = SURFACES: DISPATCH LITTER & RECYCLING RECEPTACLES.
 - 30 GALLON CAPACITY. THINGED ONE ACCESS DOOR.
 - SOLID CAST ALUMINUM CONSTRUCTION WITH POWDERCOAT FINISH.
 - POLYETHYLENE LINERS. SURFACE MOUNT.
 - LITTER OR RECYCLING GRAPHICS ON EACH CONTAINER.

CONTRACTOR SHALL EXERCISE CAUTION DURING ALL CONSTRUCTION OPERATIONS IN VICINITY OF UNDERGROUND UTILITY LINES AND CABLES. CONTRACTOR SHALL NOTIFY AND OBTAIN PERMITS AS SUCH AREAS WILL BE OPEN TO THE COMPANY OR MUNICIPAL AGENCY. CALL 610.341.1-800-382-2764



PROGRESS NOT FOR CONSTRUCTION 4/26/2024
tda the design architecture
 BRYDEN ES
 BEACHWOOD CITY SCHOOLS
 2501 BRYDEN RD
 BEACHWOOD, OH 44122
 SHEET NO. 20004
 PROJECT NO. 20004
 DATE 08/15/24
 DESIGNED BY K.S.
 CHECKED BY K.S.
 DRAWN BY K.S.
 PROJECT BOARDS
 SHEET NO. 20004
 PROJECT NO. 20004

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 11, 2024

RE: **P&Z 2024-2(A) ThenDesign Architecture
Beachwood Board of Education
Bryden School
Final Site Development Plan**

This request is for approval of the final site development plan. The property is zoned U-5 Public and Institutional District. The subject site is 15.18 acres. The applicant is proposing to construct a new elementary school that would accommodate grades Pre-K through 2. The proposed building is in the shape of an “H” with 32 classrooms and about 2,250 square feet of administrative offices. One leg of the H is a core area that would house a media center, cafeteria, gymnasium, and specialty classrooms such as art and music. The building has a maximum height of 32 feet, which conforms to the Code. The packet includes building floor plans as well as building elevations.

The site would be accessed from both Bryden Road and Letchworth Road. The driveways will remain basically in their existing locations. Buses would use the Bryden Road access, while parent drop-off and pick-up would be via Letchworth. The site plan indicates a total of 96 parking spaces which exceeds the minimum Code requirement. There are wetlands on the subject site which limit building location options. As part of preliminary site plan approval, the applicant was granted a setback variance from the wetland boundary for an emergency access drive and a parking setback variance from the western side lot line. With those variances the proposed final site plan complies with all building and parking setback requirements.

The proposed new building will be located generally in the center of the site with parking to the southwest of the building and play areas and ballfields to the southeast of the building. The site area north of the proposed building is

predominantly wetlands. In addition to ballfields, the site improvements include multiple play structures, swing sets, and a picnic shelter.

The applicant has provided a detailed landscaping plan that specifies the plant materials, the number of each, the initial planting size, and planting specifications as required by the Zoning Code. There is a combination of ornamental and evergreen trees proposed as well as a variety of shrubs. The landscaping plan also includes details for the various playground equipment. The landscaping plan includes a buffer area with a heavier concentration of trees along a portion of the eastern property line where the site abuts the homes on Willow Lane and the Wedgewood condominiums. The landscape plan appears to meet City standards.

The applicant has also provided a lighting photometric plan. The proposed lighting is all LED with full cut-off fixtures in compliance with the Zoning Code. The photometric plan indicates no light spillage beyond the boundaries of the subject site.

The final site appears to be compliant with the minimum standards of the U-5 Public and Institutional District, with the site plan submission requirements, and with the previously approved preliminary site development plan. It is recommended that the Planning and Zoning Commission grant final site development plan approval subject to compliance with the comments and recommendations of the City Engineer and Fire Department.



MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 20, 2024

2022120.02

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 6

P & Z 2024-02 Ryan Schmit, Then Design Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 25501 Bryden Road, Bryden Elementary School.

We have reviewed the plans submitted and we have already recommended approval of an early site package. The City Administration, Planning Director and City Engineer’s office has met with the School Board and their design team several times over the past 4 months.

We are recommending final site plan approval subject to final engineering review of the final plans. The plans submitted are probably 90% complete and we feel comfortable recommending final site plan approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/22/2024
Re: P&Z # 2024-2A Final Site Plan (25501 Bryden)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. Provide fire lane around structure as discussed in planning meeting. Minimum width of 22 feet.
2. Standpipe will be installed due to limited vehicle access. Location of standpipe and FDC to be determined by fire prevention.
3. Fire hydrants to be installed around structure. Location to be determined at plan submittal by fire prevention.
4. The fire department has no additional comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 04/26/24

OWNER OF BUILDING: Beachwood Board of Education PHONE: 216-464-2600

STREET ADDRESS: 24601 Fairmount Boulevard

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Ryan Schmit PHONE: 216-269-2266

COMPANY OR FIRM: tda

EMAIL: rschmit@thendesign.com

STREET ADDRESS: 4230 River Street

CITY/STATE/ZIP: Willoughby, OH 44022

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Ryan Schmit (rschmit@thendesign.com), Robert Hardis (rph@beachwoodschoo.org)

Ken Veon (kev@beachwoodschoo.org), Steve Zannoni (steven.zannoni@thompsonhine.c)

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24524 HILLTOP DR, BEACHWOOD, OH, 44122 SUITE # _____

TENANT NAME: Hilltop Elementary School

PERMANENT PARCEL # 741 - 12 - 051 PRESENT USE: school PROPOSED USE: school

PURPOSE OF APPLICATION: Final site plan approval.

Zoning setback variances were previously approved.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Digitally signed by Ryan P. Schmit
DN: C=US, E=rschmit@thendesign.com,
O=IDA, CN=Ryan P. Schmit
Date: 2023.12.19.17:05:21-05'00'
Ryan P. Schmit
SIGNATURE

Ryan P. Schmit
PRINTED NAME

04/26/2024
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

APPLICANT: Hilltop Elementary School

P&Z:	ZONING DATA		DATE: 12/21/23
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U5	U5	
MINIMUM LOT AREA	18,000 sf	546,844 sf	
MINIMUM LOT FRONTAGE	100'	121'	
MINIMUM FRONT YARD BUILDING SETBACK	50'	226'	
MINIMUM SIDE YARD BUILDING SETBACK	20'	29'	
MINIMUM REAR YARD BUILDING SETBACK	40'	134'	
MAXIMUM BUILDING HEIGHT	40'	32'	
MINIMUM LANDSCAPED AREA	25% of total area = 136,711 sf		
MINIMUM PARKING SETBACKS	Front = 20' Side = 10' Rear = 20'	Front = 257' Side = 70' Rear = 255'	
MINIMUM DRIVE AISLE	24'	24'	
MINIMUM PARKING STALL	9' x 20' = 180sf	9' x 20' = 180 sf	
MINIMUM OFF-STREET PARKING	29 classrooms x 2 = 58 2,250/200 = 12 70 total spaces	90 total spaces	
SITE DEVELOPMENT PLANS			

Hilltop Elementary Existing Context Photos



Existing Perimeter - Southwest



Existing Perimeter - West



Existing Perimeter - Northwest



Existing Perimeter - North



Existing Perimeter - Northwest



Existing Perimeter - North

Hilltop Elementary
Existing Context Photos



Existing Perimeter - North



Existing Perimeter - Northeast



Existing Perimeter - Northeast



Existing Perimeter - East



Existing Perimeter - Southeast



Existing Perimeter - South

Hilltop Elementary Existing Context Photos



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South



Existing Perimeter - South

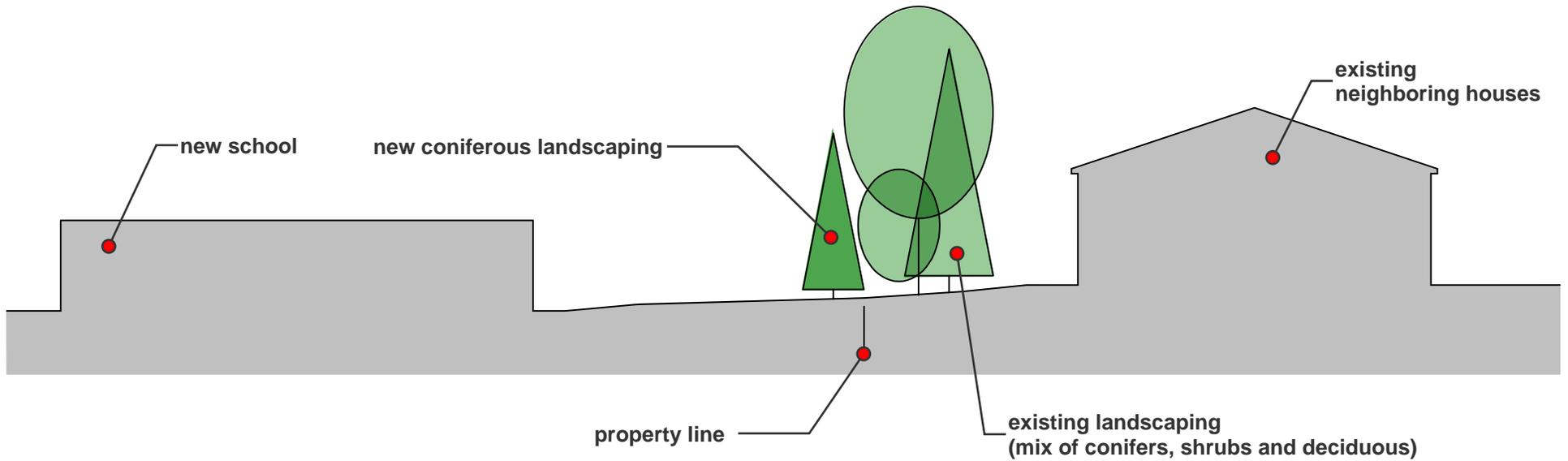


Existing Perimeter - West

Hilltop Elementary
Existing Context Photos



Existing Perimeter - West



WEST PROPERTY LINE - SITE SECTION

SCALE 1/2" = 1'-0"



April 26, 2024

Mr. Brian Roenigk
City of Beachwood Building Commissioner
25325 Fairmount Blvd
Beachwood, OH 44122

Re: Hilltop Elementary School

Beachwood, OH

Dear Mr. Roenigk:

This letter is in response to the Fire Prevention Bureau Report dated January 9th, 2024 discussed at the January 18th, 2024 Planning and Zoning Commission Meeting regarding Preliminary Plan review of the new Bryden Elementary School project.

1. Fire lanes have been provided around the building as discussed at the P&Z meeting on January 18th, 2024. In addition, there was a second meeting held at the Beachwood School Board Offices on April, 16th where fire lanes were discussed with fire department officials and approved.
2. A new FDC connection is indicated at the location of the new water service vault near Hilltop Drive as discussed at the April 16th, 2024 meeting at the Beachwood School Board Offices.
3. Fire hydrants are located around the perimeter of the new building. The location of the fire hydrants were reviewed and approved by fire department officials at the April 16th, 2024 meeting at Beachwood School Board Offices.
4. No response required.

If you have any further questions, please contact me.

Sincerely,

Thorson • Baker + Associates, Inc.

David L. Myers, P.E. & P.S.
Department Manager – Civil Engineering Department

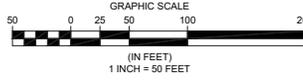
PARCEL CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	TANGENT
C1	37.36'	20.00'	107°01'33"	32.16'	S36°22'52"W	27.04'
C4	72.92'	57.25'	72°58'27"	68.09'	N53°3'08"W	42.34'

SYMBOL LEGEND	
● Ex. Clean Out	○ Guy Wire
■ Ex. Catch Basin	⊕ Power Pole
▣ Prop. Catch Basin	⊕ Light Power Pole
▣ Ex. Curb Inlet	⊕ Light Pole
▣ Prop. Curb Inlet	⊕ Traffic Signal Pole
○ Ex. Yard Drain	⊕ Traffic Signal Box
○ Ex. Manhole	⊕ Cable TV Box
○ Ex. Sanitary Manhole	⊕ Electrical Box
○ Prop. Sanitary Manhole	⊕ Telephone (SAC) Box
○ Ex. Storm Manhole	⊕ Tree
○ Prop. Storm Manhole	⊕ Pine Tree
○ Storm Inlet MH	⊕ Bush
⊕ Ex. Water Valve	⊕ Yard Light
⊕ Prop. WL Valve	⊕ Gasline Marker
⊕ Water Meter	⊕ Power Transformer
⊕ Ex. Fire Hydrant	⊕ Irrigation Valve
⊕ Well	⊕ Sprinkler Control Box
⊕ Gas Valve	⊕ Sign
⊕ Gas Meter	⊕ Sprinkler Head
	⊕ Guard Post
	⊕ Stump
	⊕ Mailbox

811 O.U.P.S. REFERENCE A-320-800-751
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

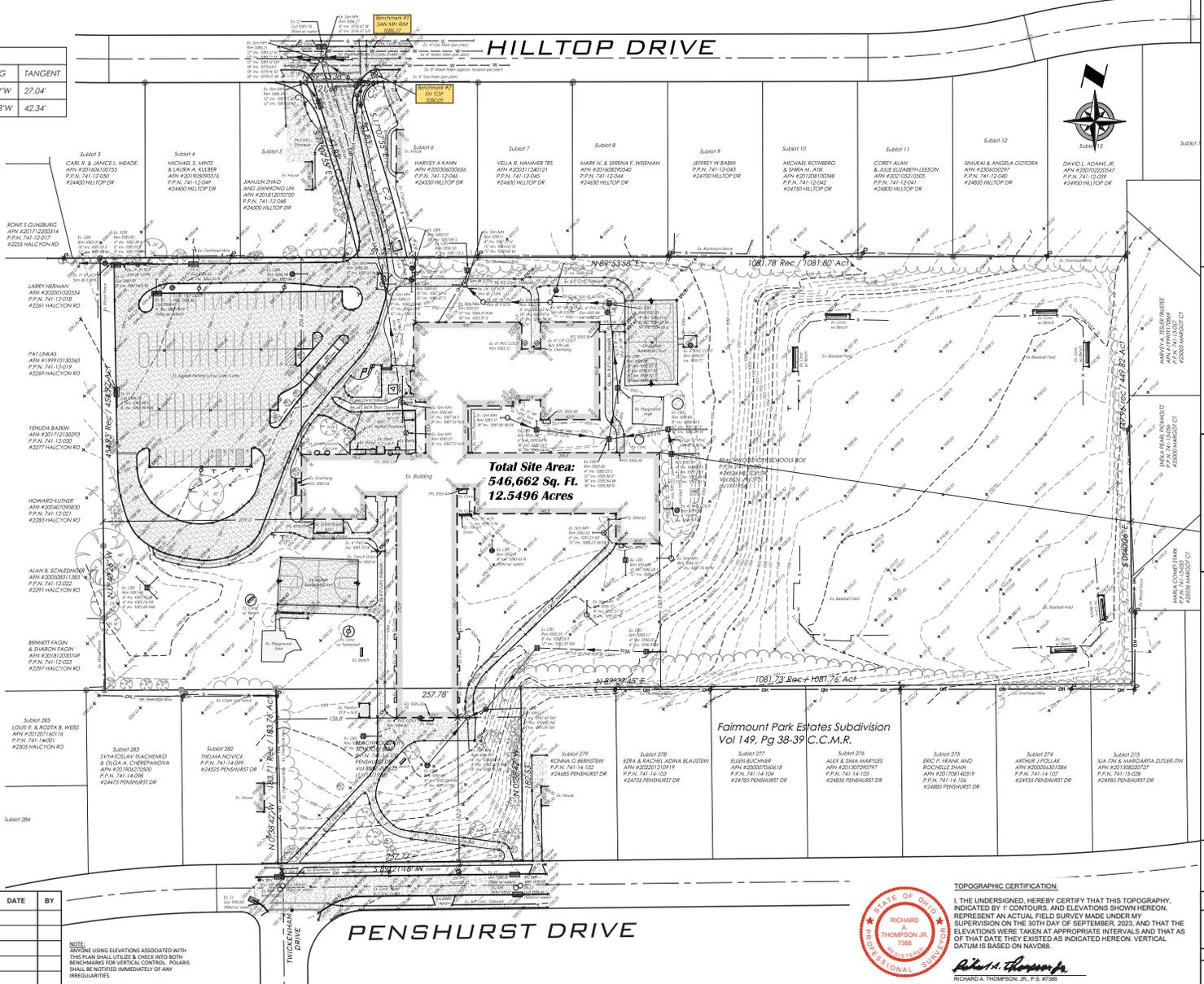
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.



DATE: 10/10/23 DRAWN: SBB
 SCALE: HOR. 1"=50' VERT. 1"=10'
 FOLDER: DWG@Prolis_Surveying
 FILENAME: _23144_Survey_Base
 TAB: 01-Existing Conditions
 BNDY_CHK: XXX-xxx/20xx
 BASE_CHK: XXX-xxx/20xx

REV. NO.	DATE	BY

NOTE:
 ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.



HILLTOP DRIVE

PENSHURST DRIVE

Total Site Area:
 546,662 Sq. Ft.
 12.5496 Acres

Fairmount Park Estates Subdivision
 Vol 149, Pg 38-39 C.C.M.R.

24524 HILLTOP DRIVE
 CITY OF BEACHWOOD - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
 34600 CHARBON ROAD - SUITE D
 HILLTOP DR. HILLS, OHIO 44130
 WWW.POLARIS-ES.COM



EXISTING CONDITIONS

PREPARED FOR:
 BEACHWOOD CITY SCHOOLS
 2481 FAIRMOUNT RD.
 BEACHWOOD, OHIO
 PHONE: (440) 412-1748
 CONTACT: KEN WOOD

CONTRACT NO.	
23144	
SHEET	OF
01	01



TOPOGRAPHIC CERTIFICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 30TH DAY OF SEPTEMBER, 2023, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.

Richard A. Thompson, Jr.
 RICHARD A. THOMPSON, JR., P.S. #7388

PROGRESS NOT FOR CONSTRUCTION 4/12/24



HILLTOP ELEMENTARY SCHOOL
 BEACHWOOD CITY SCHOOL DISTRICT
 24524 HILLTOP DRIVE
 BEACHWOOD, OH 44122

NO	DATE	DESCRIPTION	BY	CHKD
1	04/22/24	ISSUED FOR PERMIT	ES	ES
2	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
3	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
4	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
5	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
6	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
7	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
8	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
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18	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
19	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
20	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES

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18	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
19	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES
20	04/22/24	ISSUED FOR CONSTRUCTION	ES	ES

LEGEND

- HT CHAIN LINK CONSTRUCTION FENCE CONTRACTOR TO DETERMINE FINAL LOCATION OF FENCE AND GATES
- UTILITY TO BE REMOVED
- AREA TO BE DEMOLISHED
- TREE PROTECTION 4' HT. ORANGE PVC CONSTRUCTION FENCE
- TREE TO BE REMOVED BY CONTRACTOR

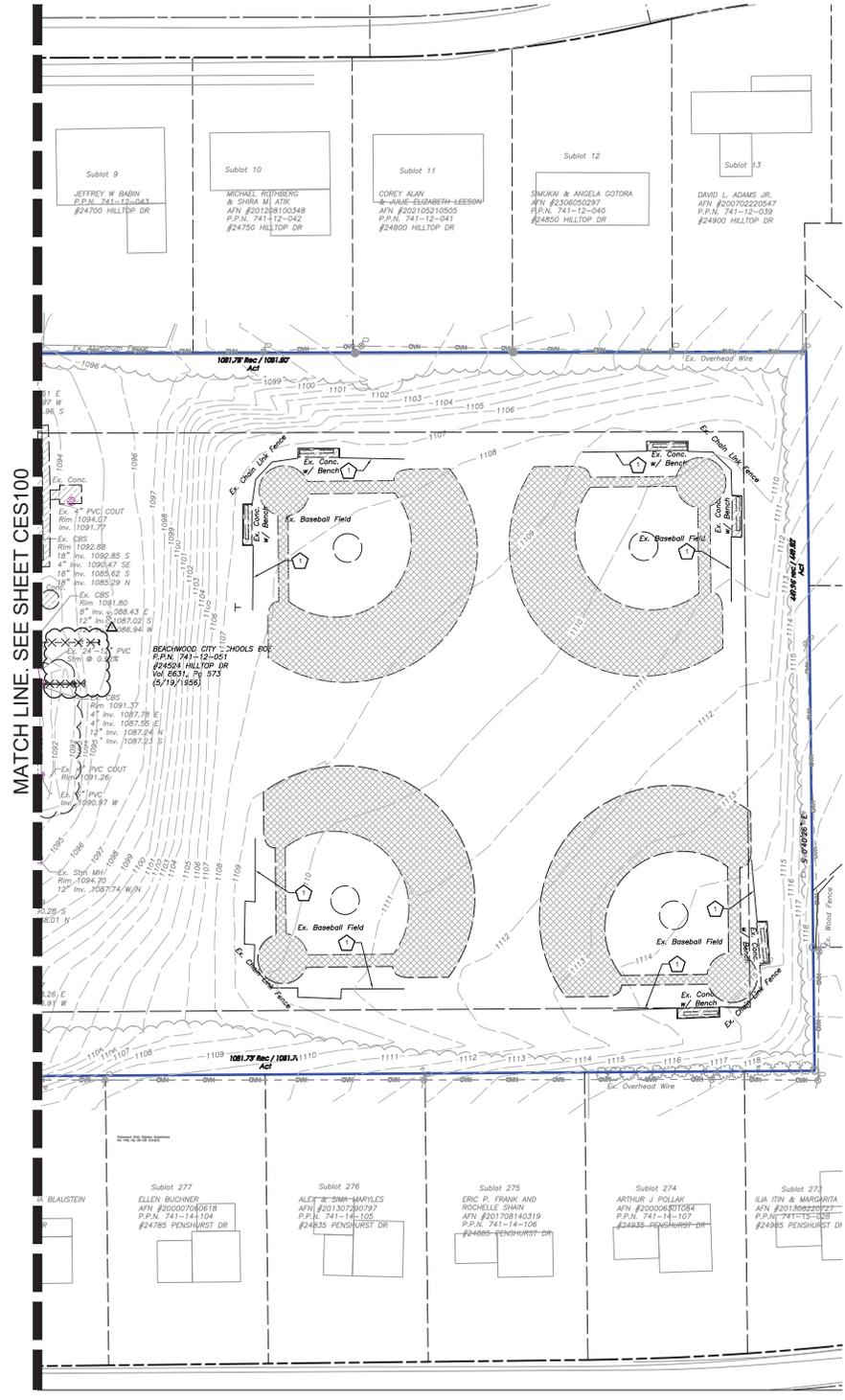
KEY NOTES

- 1 REMOVE FENCE PER ODOT ITEM 202.

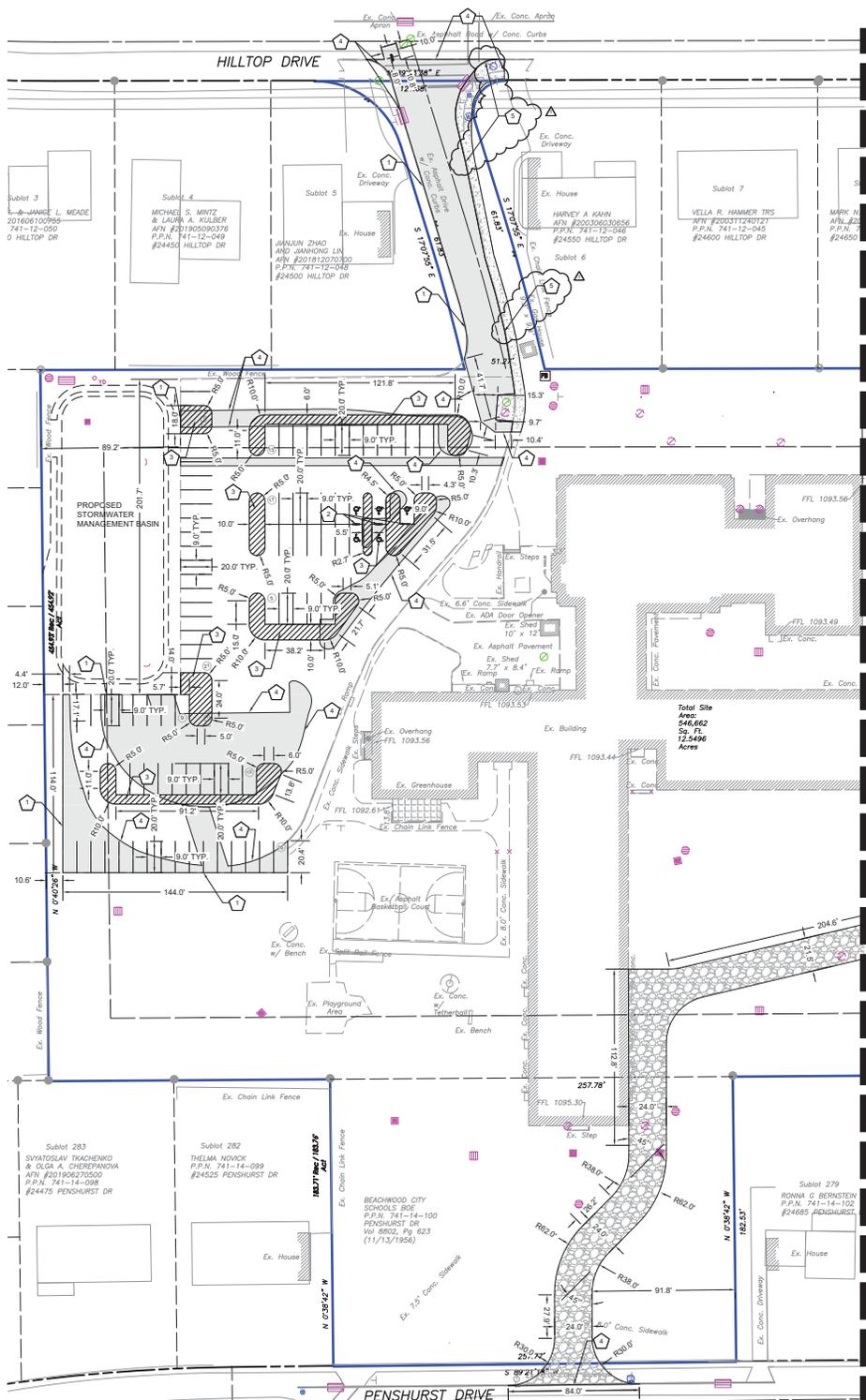
DEMOLITION PLAN

TBA
 Thorson-Baker Associates
 3333 West Schrock Road
 Columbus, Ohio 43221
 (614) 693-6933
 (614) 693-6973 Fax

Call 811
 before you dig
 Ohio 811 Service
 before you dig



MATCH LINE - SEE SHEET CES100



MATCH LINE: SEE SHEET CES201

LEGEND

- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES600.
- PROPOSED SIDEWALK CONCRETE PAVEMENT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES600.
- PROPOSED AGGREGATE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES702.

KEY NOTES

- 1 FURNISH AND INSTALL ASPHALT EDGE. SEE DETAIL ON SHEET CES600.
- 2 FURNISH AND INSTALL ADA PARKING SIGN PER CDOT ITEM 630 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 3 FURNISH AND INSTALL PAVEMENT MARKING/STRIPING PER CDOT ITEM 642 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 4 MEET AND MATCH EXISTING PAVEMENT.
- 5 FURNISH AND INSTALL INTEGRAL CONCRETE CURB & WALK. SEE DETAIL AND SPECIFICATIONS ON SHEET CES702 - DETAILS.

SITE DATA

ADDRESS: 24524 HILLTOP DR, BEACHWOOD, OH 44122
 ZONING DISTRICT: U-6 PUBLIC AND INSTITUTIONAL
 SITE AREA: 12.55 Ac.
 CURRENT USE: U-5 PUBLIC AND INSTITUTIONAL
 PROPOSED USE: U-5 PUBLIC AND INSTITUTIONAL

	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	40'	26'
MIN. STREET FRONTAGE	200'	51'
FRONT YARD BLDG. SETBACK	50'	51'
SIDE YARD BLDG. SETBACK	40'	40'
REAR YARD BLDG. SETBACK	40'	130'
SIDE YARD PARKING SETBACK	10'	11'
REAR YARD PARKING SETBACK	10'	130'
MAX. BUILDING COVERAGE	25%	12%
MIN. PLANTED AREA COVERAGE	25%	62%
PARKING SPACES	-	91
HANDICAP PARKING (1 PER 25 SPACES)	-	3
PARKING SPACE SIZE	180 SF	180 SF
DRIVE AISLE	24'	24'

GEOMETRIC PLAN



TBA
Thorson-Baker Associates
3030 West Broadhurst Road
Rochester, Ohio 44086

(330) 659-6668 Fax
(330) 659-6675 Fax

Ohio Wildlife Production Service
Callery
before you dig

BULLETIN #	DATE	DESCRIPTION	DATE

NO.	DATE	DESCRIPTION	DATE

NO.	DATE	DESCRIPTION	DATE

NO.	DATE	DESCRIPTION	DATE

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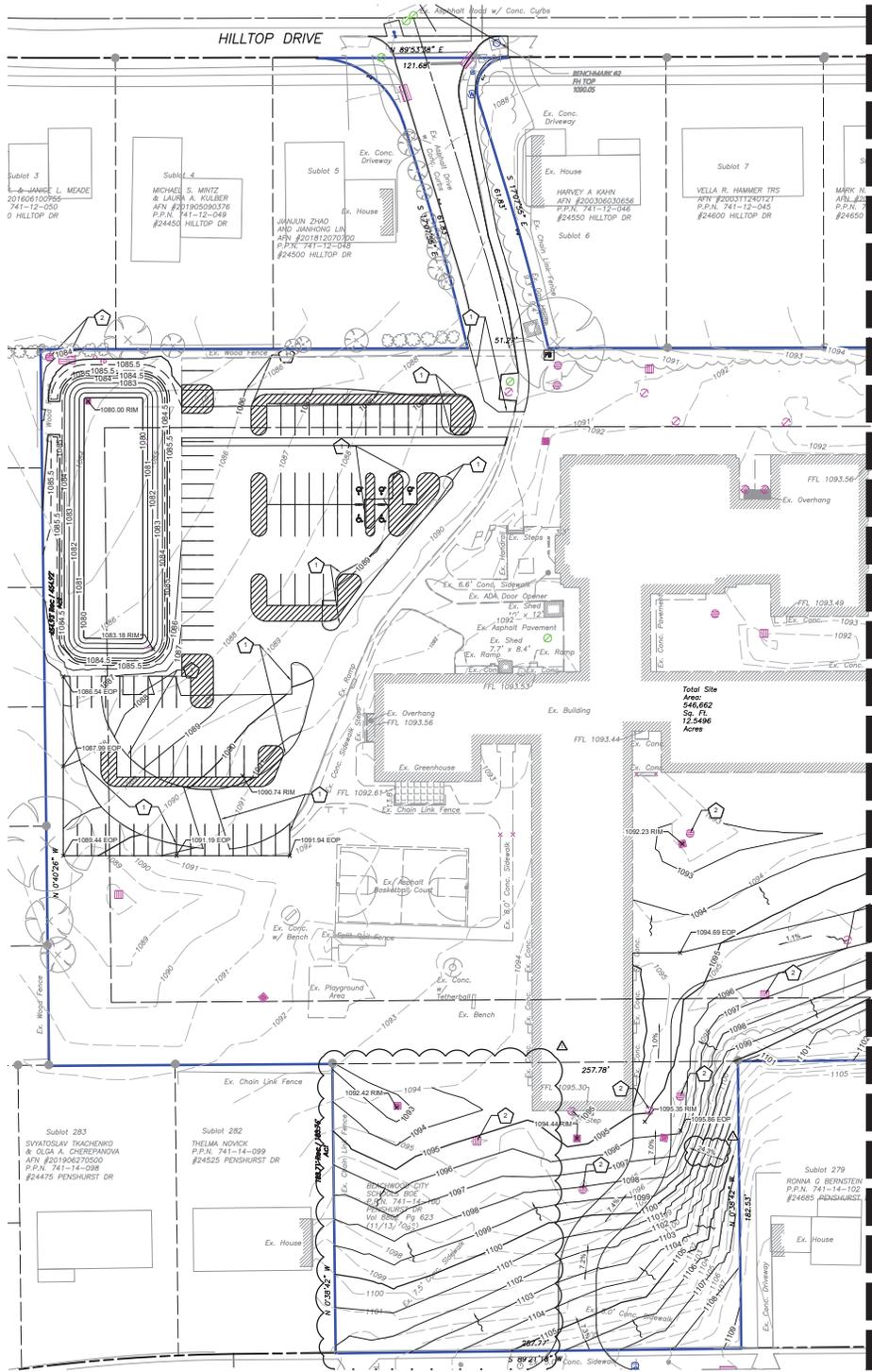
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MATCH LINE: SEE SHEET CES301

- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - 1050.00 PROPOSED SPOT ELEVATIONS
 - DRAINAGE FLOW ARROW

- KEY NOTES**
- 1 MEET AND MATCH EXISTING PAVEMENT
 - 2 RAISE EXISTING STRUCTURES TO MATCH PROPOSED GRADE.

Total Site Area: 646,662 Sq. Ft. 12.5496 Acres

GRADING PLAN
 0 30 60 90
 Feet

TBA
 Thornton-Baker Associates
 3333 West Shiloh Road
 Portland, OR 97201
 (503) 659-6993 Ph.
 (503) 659-6975 Fax

Call 811
 before you dig

PROGRESS NOT FOR CONSTRUCTION
 4/12/24

tda
 the design architecture

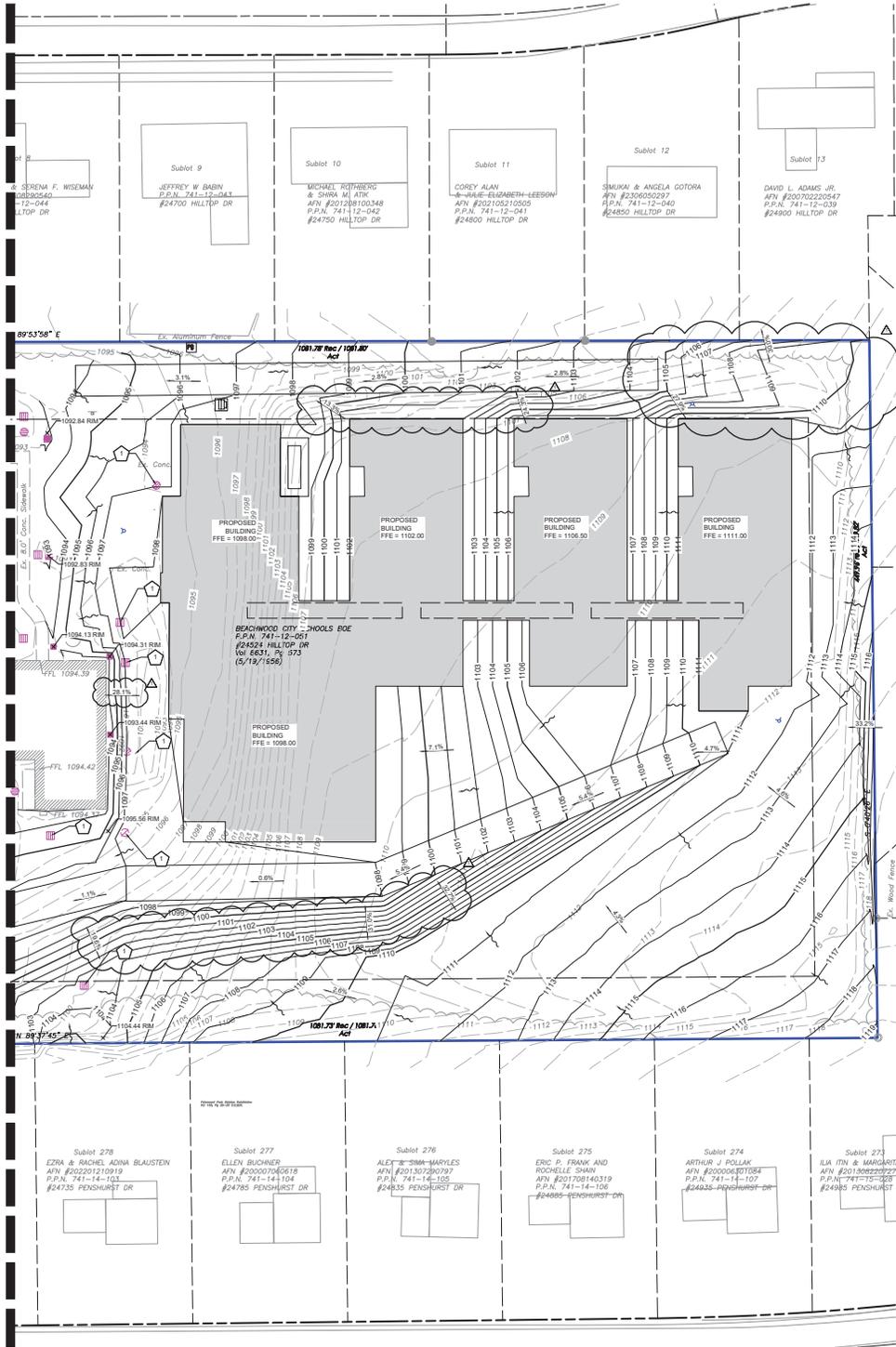
HILLTOP ELEMENTARY SCHOOL
 BEACHWOOD CITY SCHOOL DISTRICT
 24524 HILLTOP DRIVE
 BEACHWOOD, OH 44122

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/22/24	ISSUED FOR PERMIT	tda	
2	04/22/24	REVISION	tda	
3	04/22/24	REVISION	tda	
4	04/22/24	REVISION	tda	
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19	04/22/24	REVISION	tda	
20	04/22/24	REVISION	tda	

GRADING PLAN

Sheet No. **CES300**
 of **200054**

MATCH LINE. SEE SHEET CES300



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - 1051
1050 PROPOSED SPOT ELEVATIONS
 - 1050.00 PROPOSED SPOT ELEVATIONS
 - DRAINAGE FLOW ARROW
- KEY NOTES**
- 1 RAISE EXISTING STRUCTURES TO MATCH PROPOSED GRADE.

PROGRESS NOT FOR CONSTRUCTION 4/12/24

tda
thendesign architecture

HILLTOP ELEMENTARY SCHOOL
BEACHWOOD CITY SCHOOL DISTRICT
24524 HILLTOP DRIVE
BEACHWOOD, OH 44122

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/22/24	ISSUED FOR PERMIT
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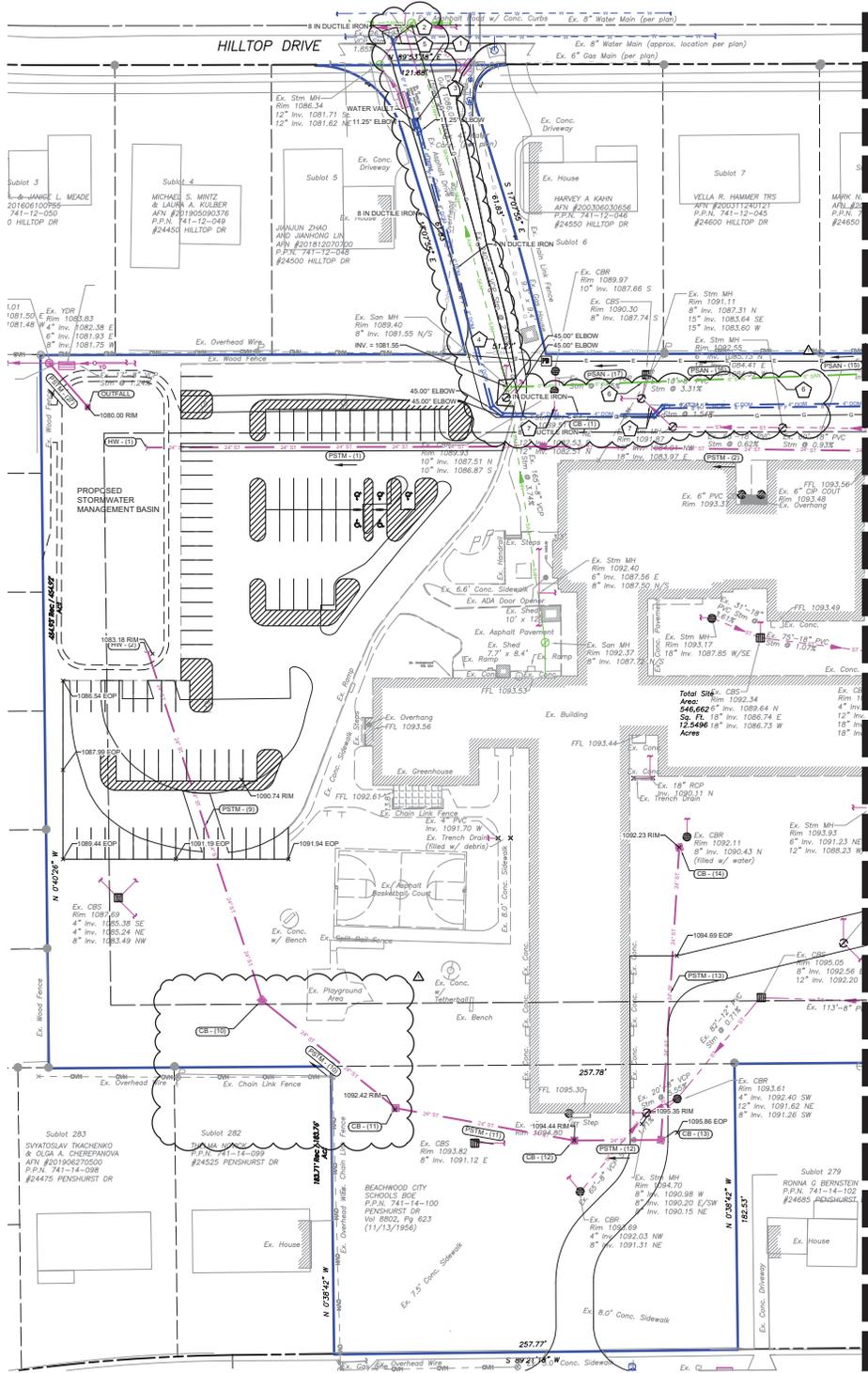
GRADING PLAN

Scale: 30' 0 30' 60'

Thorson-Baker Associates
3333 Shawnee Meadows Road
Woodward, Ohio 44221 (330) 693-6983 Ph. (330) 693-6973 Fax

Call 811
before you dig

CES301
20054



MATCH LINE: SEE SHEET CES401

- LEGEND**
- EXISTING SANITARY
 - EXISTING WATER
 - EXISTING STORM
 - PROPOSED ELECTRIC. SHOWN FOR HORIZONTAL ROUTING. REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DETAILS AND SPECIFICATIONS.
 - PROPOSED GAS. SHOWN FOR HORIZONTAL ROUTING. REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.
 - PROPOSED SANITARY
 - PROPOSED STORM
 - PROPOSED WATER LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES001.
 - PROPOSED FIRE LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES001.
 - PROPOSED DOMESTIC LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES001.
 - G PROPOSED GAS METER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY GAS COMPANY.
 - C PROPOSED CATCH BASIN (CB) CURB INLET (CI). SEE SHEET CES002 FOR DETAILS AND SPECIFICATIONS.
 - O PROPOSED CLEANOUT (CO). SEE SHEET CES002 FOR DETAILS AND SPECIFICATIONS.

- KEY NOTES**
1. CONNECT TO EXISTING GAS LINE. COORDINATE WITH UTILITY COMPANY; SEE MECHANICAL PLANS FOR SIZES, ETC.
 2. FURNISH AND INSTALL 8"X6" TAPPING SLEEVE AND VALVE
 3. FURNISH AND INSTALL WATER MAIN VAULT. SEE DETAILS AND SPECIFICATIONS ON SHEET CES001.
 4. CORE DRILL EXISTING SANITARY STRUCTURE. FILL AROUND PIPE PER ODOT ITEM 611.
 5. FURNISH AND INSTALL 8" X 6" REDUCER
 6. FURNISH AND INSTALL TEST TEE. SEE DETAIL ON SHEET CES002
 7. MAINTAIN MIN. 18" VERTICAL CLEARANCE BETWEEN SEWER LINE AND WATER LINE. LOWER WATERLINE AS REQUIRED.

- NOTES:**
1. THE PROPOSED LATERAL CONNECTION SHALL BE MADE INTO THE EXISTING SANITARY SEWER AND SHALL BE DONE BY INSTALLING A NEW MANUFACTURED PVC 8000 W/5 WITH PVC NO-HUB COUPLING IF EXISTING MAIN IS PVC OR USE STRONGBACK FIBROD IF VSD WITH NEW PVC PIPE.
 2. ALL SEWER WORK IN THE RW OF PUBLIC ROAD SHALL BE BACK FILLED WITH L5M.
 3. MINIMUM SIZE OF SANITARY OR STORM SEWER LATERAL IS 6" UNLESS OTHERWISE NOTED. SEE DETAIL ON SHEET CES002 FOR DEEPER DEPTHS. ALL SEWER WORK SHALL CONFORM TO THE COUNTY'S UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS.
 4. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

NEIGHBORING HOUSE LOCATIONS UPDATED



TBA
Thorson-Baker Associates
3333 West Shiloh Road
Portland, OR 97201
(503) 659-6666
(503) 659-6671 Fax



PROGRESS NOT FOR CONSTRUCTION 4/19/24



HILLTOP ELEMENTARY SCHOOL
BEACHWOOD CITY SCHOOL DISTRICT
24524 HILLTOP DRIVE
BEACHWOOD, OH 44122

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/19/24	ISSUED FOR PERMIT	MM	MM
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49	04/19/24	ISSUED FOR PERMIT	MM	MM
50	04/19/24	ISSUED FOR PERMIT	MM	MM

UTILITY PLAN

Sheet No. **CES400**

Scale: 1" = 30'

Project No. 24524

Client: Beachwood City Schools

Design: TBA

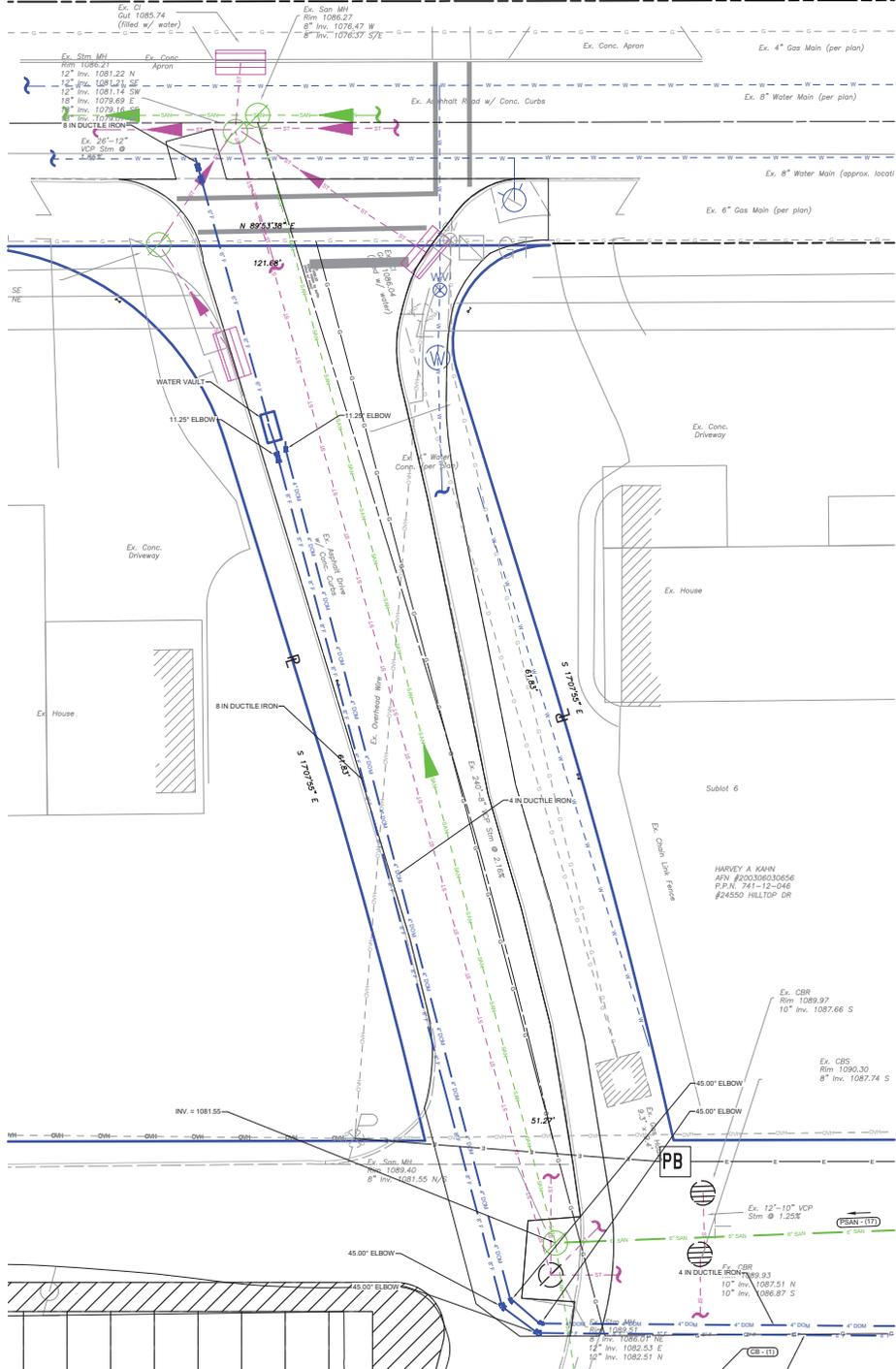
Check: TBA

Issue: 20240419

Revision: 00004

NO.	DATE	DESCRIPTION	BY	CHKD.
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2	04/22/24	ISSUED FOR CONSTRUCTION	TD	TD
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20	04/22/24	ISSUED FOR CONSTRUCTION	TD	TD



- LEGEND**
- EXISTING GAS
 - EXISTING OVERHEAD LINE
 - EXISTING SANITARY
 - EXISTING STORM
 - EXISTING WATER
 - PROPOSED GAS, SHOWN FOR HORIZONTAL ROUTING. REFERENCE ONLY. DETAILS AND SPECIFICATIONS PER GAS COMPANY REQUIREMENTS.
 - PROPOSED SANITARY
 - PROPOSED STORM
 - PROPOSED FIRE LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
 - PROPOSED DOMESTIC LINE. SEE DETAILS AND SPECIFICATIONS ON SHEET CES601.
 - PROPOSED GAS METER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION, DETAILS AND SPECIFICATIONS TO BE DETERMINED BY GAS COMPANY.
 - PROPOSED CATCH BASIN (CB) CURB INLET (CI). SEE SHEET CES600 FOR DETAILS AND SPECIFICATIONS.
 - PROPOSED CLEANOUT (CO). SEE SHEET CES602 FOR DETAILS AND SPECIFICATIONS.

UTILITY CORRIDOR DETAIL
3'-0" = 1"



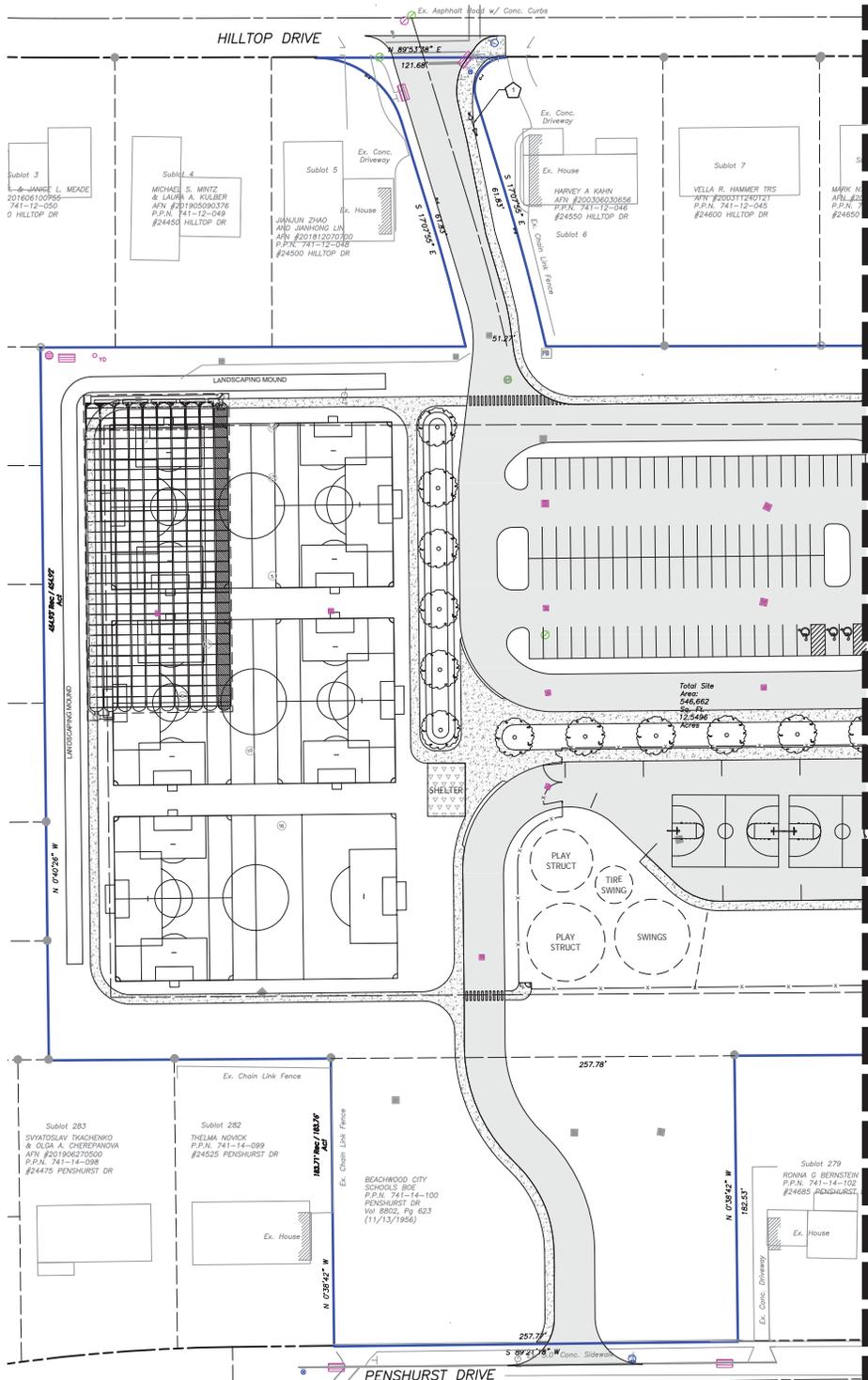
TBA
Thorson-Baker Associates
3030 West Steadlands Road
Beachwood, Ohio 44122

(330) 659-6688 Fax
(330) 659-6675 Fax

Ohio Pollution Prevention Service
Call on
before you dig

UTILITY CORRIDOR DETAIL

CES402
Sheet number
20054



MATCH LINE: SEE SHEET C201

- LEGEND**
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT - SEE DETAILS AND SPECIFICATIONS ON SHEET C200.
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT - SEE DETAILS AND SPECIFICATIONS ON SHEET C200.
 - PROPOSED SIDEWALK CONCRETE PAVEMENT - SEE DETAILS AND SPECIFICATIONS ON SHEET C200.
 - PROPOSED STANDARD DUTY CONCRETE PAVEMENT - SEE DETAILS AND SPECIFICATIONS ON SHEET C200.
 - PROPOSED HEAVY DUTY CONCRETE PAVEMENT - SEE DETAILS AND SPECIFICATIONS ON SHEET C200.

- KEY NOTES**
- PROPOSED MONUMENT SIGN LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS & SPECIFICATIONS.

SITE DATA

ADDRESS: 24524 HILLTOP DR, BEACHWOOD, OH 44122
 ZONING DISTRICT: U-5 PUBLIC AND INSTITUTIONAL
 SITE AREA: 12.55 Ac.
 CURRENT USE: U-5 PUBLIC AND INSTITUTIONAL
 PROPOSED USE: U-5 PUBLIC AND INSTITUTIONAL

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SIDE YARD PARKING SETBACK	10'	130'
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HANDICAP PARKING (1 PER 25 SPACES)	3	5
PARKING SPACE SIZE	180 SF	180 SF
DRIVE AISLE	24'	24'

GEOMETRIC PLAN
1"=50'



TBA
Thorson-Baker Associates
3030 West Steeles Road
Riverside, Ohio 45376
(513) 659-6668 Fax
(513) 659-6775 Fax

Ohio Pollution Prevention Service
Callen
before you dig

GEOMETRIC PLAN

Sheet No.

Sheet Title

Sheet Number

C200

Revision
20004

SEDIMENT POLLUTANT CONTROLS (GENERAL NOTES)

- PERMETER SEDIMENT CONTROLS (I.E. SEDIMENT TRAPS, SILT FENCE, COMPOST SOCKS, COMPOST BERMS, ETC.) SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLOUSE AREAS DRAINING TO THEM ARE PERMANENTLY STABILIZED, OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.
- NO EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED FROM THE SITE PRIOR TO ADEQUATE PERMANENT STABILIZATION OF THE ASSOCIATED UPLOUSE AND DRAINAGE AREAS AND WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE, UNLESS THEIR REMOVAL IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
- THERE SHALL BE NO SEDIMENT-LADEN OR TURBID DISCHARGES TO WATER RESOURCES OR WETLANDS RESULTING FROM DEWATERING ACTIVITIES. IF FRENCH OR GROUNDWATER CONTAINS SEDIMENT, IT MUST PASS THROUGH A SEDIMENT TRAP OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO A SLUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS IS NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.
- STREETS DIRECTLY ADJACENT TO CONSTRUCTION ENTRANCES AND RECEIVING TRAFFIC FROM THE DEVELOPMENT AREA, SHALL BE CLEANED DAILY TO REMOVE SEDIMENT TRACKED OFF-SITE. IF APPLICABLE, THE CATCH BASINS ON THESE STREETS NEAREST TO THE CONSTRUCTION ENTRANCES SHALL ALSO BE CLEANED WEEKLY BASED ON SITE CONDITIONS. THE JURISDICTIONAL ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, MAY REQUIRE ADDITIONAL BEST MANAGEMENT PRACTICES TO CONTROL OFF-SITE TRACKING OF DUST.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, OR REPRESENTATIVE, TO PROVIDE INSPECTION OF ALL EROSION CONTROL MEASURES IDENTIFIED IN THE SWPP AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD BY THE END OF THE FOLLOWING CALENDAR DAY. EXCLUDING WEATHER CONDITIONS THAT PREVENT WORK IS SCHEDULED, AND ONCE EVERY SEVEN CALENDAR DAYS WHEN INSPECTIONS REVEAL THE NEED FOR REPAIR, REPLACEMENT, OR INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BMP'S. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
 - WHEN PRACTICES DEFECTED IN THE SWPPS ARE NOT INSTALLED, THEY SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. EXCEPTION: SEDIMENT PONDS SHALL BE REPAIRED OR MAINTAINED WITH 10 DAYS OF INSPECTION.
 - WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION: A MORE APPROPRIATE BMP SHALL BE SELECTED AND IMPLEMENTED WITHIN 10 DAYS OF THE INSPECTION.
 - WHEN PRACTICES DEFECTED IN THE SWPPS ARE NOT INSTALLED, THE BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE BMP IS NOT NECESSARY, THE RECORD MUST CONTAIN AN EXPLANATION FOR THE DECISION.

INSPECTION MUST BE COMPLETED BY A CERTIFIED PROFESSIONAL EROSION CONTROL (CPEC) OR CERTIFIED EROSION SEDIMENT CONTROL (CESC) ENGINEER. THE RECORD SHOULD BE COMPLETED DURING AN EXTENDED PERIOD OF TIME AND IS ESTABLISHED A MAJOR MAY BE SENT TO THE CEC FOR REVIEW. A MAJOR MAY BE SENT TO MONTHLY INSPECTIONS. AFTER EVERY INSPECTION, A SIGNED CHECKLIST SHALL BE PROVIDED BY THE INSPECTOR.

- THE APPLICANT SHALL MAINTAIN FOR 3 YEARS FOLLOWING FINAL STABILIZATION, THE RESULTS OF THESE INSPECTIONS, THE NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTIONS, THE DATES OF INSPECTIONS, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWPP, A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWPP, AND INFORMATION ON ANY INCIDENTS OF NON-COMPLIANCE DETERMINED BY THESE INSPECTIONS.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH THE DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES' WETLANDS AND WATERSHED DEVELOPMENT MANUAL, OR AS SPECIFIED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.

8. EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. ADDITIONAL PRACTICES SHALL BE IMPLEMENTED AT THE DEVELOPER'S EXPENSE AS DIRECTED BY THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE.

9. NO STRUCTURAL SEDIMENT CONTROLS (SILT FENCE, SEDIMENT TRAPS, ETC.) SHALL BE USED IN A WATER RESOURCE OR WETLAND, UNLESS THEIR USE IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.

10. SOIL STOCKPILES, TOPSOIL OR OTHERWISE, SHALL BE SITUATED AWAY FROM STREETS, SHOULDS, OR OTHER WATERWAYS AND SHALL BE SEEDED AND/OR MULCHED IMMEDIATELY.

11. ON-SITE PERSONNEL SHALL TAKE ALL NECESSARY MEASURES TO COMPLY WITH APPLICABLE REGULATIONS REGARDING PESTICIDE USE REQUIREMENTS INCLUDING OBTAINING NECESSARY PERMITS FOR SUCH EMISSIONS. THE JURISDICTIONAL ENGINEER, OR DESIGNATED REPRESENTATIVE, MAY REQUIRE DUST CONTROLS INCLUDING, BUT NOT LIMITED TO, THE USE OF WATER TRUCKS TO WET DISTURBED AREAS, TAPPING STOCKPILES, TEMPORARY STABILIZATION OF DISTURBED AREAS, AND REGULATION OF THE SPEED OF VEHICLES ON THE SITE.

12. ANY DISTURBED AREA NOT PAVED, SOODED, OR BUILT UPON SHALL HAVE A MINIMUM OF 80% UNMOWN VEGETATIVE COVER PRIOR TO FINAL INSPECTION AND IN THE OPINION OF THE JURISDICTIONAL ENGINEER OR DESIGNATED REPRESENTATIVE WILL BE MAINTAINED ENOUGH TO CONTROL EROSION SATISFACTORILY AND SURVIVE SEVERE WEATHER.

13. THE PROJECT IS SUBJECT TO THE CONDITIONS OF ARMY CORPS OF ENGINEER PERMIT NUMBER 2020-24. SPECIAL CONDITIONS INCLUDE:

13.1. THE PROJECT SITE LIES WITHIN RANGE OF THE INDIANA BAT, A FEDERALLY LISTED ENDANGERED SPECIES, AND THE NORTHERN LONGEARED BAT, A FEDERALLY LISTED THREATENED SPECIES. HABITAT INCLUDES FORESTS AND WOODLOTS CONTAINING POTENTIAL ROOSTS (I.E. LIVE TREES WITH DIAMETER GREATER THAN OR EQUAL TO 3-8" DBH AS WELL AS FENCING, RIPARIAN FORESTS, AND OTHER WOODED CORRIDORS). WOODED AREAS WITH OR WITHOUT AGGREGATES OF TREES WITH VARIABLE AMOUNTS OF CANOPY COVERAGE. INDIVIDUAL TREES MAY BE CONSIDERED POTENTIAL ROOSTS IF THEY EXHIBIT CHARACTERISTICS OF A POTENTIAL ROOST TREE AND ARE LOCATED WITHIN 100' OF OTHER POTENTIAL ROOSTS. HIGHLIGHTS THAT THE CONTRACTOR IS TO PRESERVE WOODED/CRESTED HABITATS EXHIBITING ANY OF THE CHARACTERISTICS LISTED ABOVE WHEREVER POSSIBLE. SHOULD SUITABLE HABITAT BE PRESENT THAT CANNOT BE AVOIDED DURING CONSTRUCTION ACTIVITIES, ANY TREES GREATER THAN OR EQUAL TO 3-IN DBH WILL ONLY BE CUT BETWEEN OCTOBER 1 AND MARCH 31.

13.2. PROTECTIVE FENCING - IS CORPS OF ENGINEERS IS REQUIRING THAT HIGH VISIBILITY PROTECTIVE FENCING BE INSTALLED ALONG THE STUDY AREA BOUNDARY OF WETLAND A PRIOR TO THE START OF CONSTRUCTION TO KEEP THE CONTRACTOR FROM IMPACTING ADDITIONAL AREA OF WETLAND A.

14. CONSULT WITH THE PROJECT ENGINEER PRIOR TO ANY CHANGES TO THE APPROVED PLAN. CHANGES MUST BE CONVEYED TO AND APPROVED BY VALUE ZONING AND CUYAHOGA COUNTY SWCD PRIOR TO WORK.

15. SPILL AND BORROW ACTIVITY WILL TRIGGER A REVISION OF THE SWPP TO BE SUBMITTED TO VALUE ZONING AND CUYAHOGA COUNTY SWCD. SUCH ACTIVITY WILL NOT BE PERMITTED UNTIL REVISION IS RECEIVED /APPROVED.

NON-SEDIMENT POLLUTANT CONTROLS (GENERAL NOTES)

- ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.
- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
 - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR APPROPRIATE CONTAINERS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.

- IN ADDITION TO PREVIOUS NOTES, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - CONTRACTOR MUST CONTACT OHIO EPA AT 1-800-285-9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL 25 GALLONS OR GREATER.
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE POSTED AND SITE PERSONNEL MADE AWARE OF THE PROCEDURES AND THE LOCATION OF INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, COFFERS, CAT LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY DESIGNATED FOR THIS PURPOSE.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL-VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.

- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PREVENTION WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

IMPLEMENTATION SCHEDULE & SEQUENCE OF MAJOR CONSTRUCTION OPERATIONS.

NOTE:
ALL SEDIMENT AND EROSION CONTROLS WILL BE INSTALLED WITHIN 7 DAYS OF ALL CLEARING AND GRUBBING OF THE PROPOSED SITE.

- BEFORE ANY GRADING ACTIVITIES BEGIN:**
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE
 - CONSTRUCT ORANGE CONSTRUCTION FENCING AS NECESSARY TO ENCLOSE SITE
 - INSTALL PERIMETER FILTER BERMS PER DETAIL
 - PROVIDE ORANGE CONSTRUCTION FENCING PROTECTION FOR AREAS TO REMAIN UNDISTURBED

- CLEARING AND GRUBBING:**
 - INSTALL REMAINING FILTER BERMS, PER PLAN REQUIREMENTS
 - CLEAR AND GRUB THE SEDIMENT BASIN/STOCKPILE AREA
 - CONSTRUCT SEDIMENT BASIN/WATER QUALITY BASIN PER PLAN WITH OUTLET STRUCTURE, SUMMER EMERGENCY SPILLWAY, Baffles AND ASSOCIATED PUMPING
 - INSTALL TEMPORARY DIVERSION SWALES TO DIRECT STORMWATER RUNOFF TO THE TEMPORARY SEDIMENT BASIN'S INFEED
 - CLEAR AND GRUB REMAINING AREAS DESIGNATED ON THE PLAN
 - CONSTRUCT CONCRETE WASHOUT AREA, VEHICLE FUELING AREA, CONSTRUCTION DUMPSTER AREA, AND SOIL, SANITARY, AND TOXIC WASTE AREA

- STRIPPING AND STOCKPILING OF TOPSOIL:**
 - STRIP TOPSOIL WHERE APPLICABLE AND PLACE IN DESIGNATED STOCKPILE AREA
 - CONSTRUCT FILTER BERM AROUND STOCKPILE
 - INSTALL SOIL STABILIZATION MEASURES AS NEEDED
 - DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS WILL BE STABILIZED

- MASS GRADING OPERATIONS:**
 - BEFORE MASS GRADING OF SITE PER PLAN
 - INSTALL EROSION CONTROL MEASURES (ROCK DAMS, EROSION CONTROL MATTING, ETC.) PER PLAN REQUIREMENTS AS NEEDED
 - DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS WILL BE STABILIZED

- UTILITY CONSTRUCTION:**
 - ENSURE COMPLETION OF SEDIMENT BASINS PRIOR TO ANY CONSTRUCTION OF STORMWATER SERVICE PER PLAN
 - CONSTRUCT SANITARY SERVICE AND WATERLINE, PER PLAN
 - CONSTRUCT STORM SERVICE SYSTEM, INCLUDING HEADWALLS, CATCH BASINS, YARD DRAINAGE, AND ROCK CHANNELS, PROTECTION, PER PLAN
 - INSTALL INLET PROTECTION
 - INSTALL SOIL STABILIZATION MEASURES AS NEEDED

- PAVING OPERATIONS:**
 - CONSTRUCT ASPHALT AND CONCRETE PAVING, SIDEWALK, CURB
 - CLEAN AND RESET ALL UTILITY STRUCTURES TO FINAL SIZE

- FINAL GRADING OPERATIONS:**
 - CONTACT CUYAHOGA COUNTY SOIL AND WATER CONSERVATION DISTRICT PRIOR TO REMOVAL OF TEMPORARY SEDIMENT AND EROSION CONTROLS, CUYAHOGA COUNTY SWCD TO EVALUATE SITE PRIOR TO REMOVAL.
 - REMOVE BMP'S PER PLAN
 - REMOVE BMP'S FROM STORM INLETS AND FINAL PAVEMENT ACTIVITIES
 - REMOVE ALL TEMPORARY BMP'S AND STABILIZE ANY AREAS DISTURBED BY THEIR REMOVAL
 - PREPARE FINAL SEEDING AND LANDSCAPING

- POST-GRADING OPERATIONS:**
 - IMMEDIATE STABILIZATION OF TEMPORARY SEDIMENT BASIN / PERMANENT DETENTION BASIN
 - MONITOR PROGRESS OF SITE STABILIZATION
 - RE-SEED AND REPAIR DAMAGED AREAS
 - MAINTAIN AND INSPECT ALL PERMANENT BMP'S

- PROJECT CLOSEOUT:**
 - CONTROL VALUE ZONING AND NOTIFY THEM WHEN THE PROJECT IS COMPLETE AND BUILT PER THE APPROVED PLAN. VALUE ZONING WILL REQUIRE A CONSTRUCTION CERTIFICATION FOR PROJECT TO ASSURE IT WAS BUILT PER APPROVED PLAN PRIOR TO SITE CLOSE-OUT.
 - ONCE VALUE ZONING IS SATISFIED WITH PROJECT, CONTACT CUYAHOGA COUNTY SWCD FOR ASSISTANCE IN CLOSING OUT STATE / LOCAL CONSTRUCTION PERMITS ASSOCIATED WITH THE SWPP.

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PROPERITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS. A MAINTENANCE PLAN WILL PERFORM THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY AND QUALITY OF THE STORM WATER. COPIES OF THE MAINTENANCE AGREEMENT SHALL BE PROVIDED TO THE DESIGN ENGINEER AND/OR LOCAL AUTHORITIES.
- NO ALTERATION TO THE WATER QUALITY/DETENTION BASINS WITHOUT APPROVAL FROM THE DESIGN ENGINEER.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE, AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS:

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA
- REMOVE OBSTRUCTIONS IN INLET PIPES AND/OR OUTLETS WITHIN POND
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES, AND STRUCTURES

MAINTENANCE TO BE COMPLETED YEARLY

- REPAIR EROSION TO DITCH/ALL OR DRAINWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS
- MONITOR EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS

DRAWING SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT, INCLUDING SIGNATURE AND SEAL.

Table 1: Permanent Stabilization

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will be dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of a surface water of the state and not at final grade	Within seven days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

Table 2: Temporary Stabilization

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will remain idle for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of a surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of partial coverage for the individual lot(s). Prior to the onset of winter weather

When negative stabilization techniques may cause structural instability or are otherwise undesirable, alternative stabilization techniques must be employed. Permanent and temporary stabilization are defined in Part VII.

GRADING & STABILIZATION ACTIVITIES LOG

DATE GRADING ACTIVITY INITIATED	DESCRIPTION OF THE GRADING ACTIVITY INCLUDING LOCATION	DATE GRADING ACTIVITY CEASED	DATE STABILIZATION MEASURES INITIATED	DESCRIPTION OF THE STABILIZATION MEASURE INCLUDING LOCATION

SWPP3 MODIFICATION & UPDATE LOG

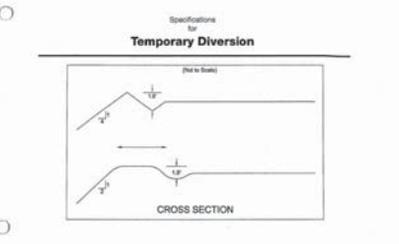
MODIFICATION DATE	DESCRIPTION OF THE MODIFICATION /UPDATE	MODIFICATION PREPARED BY (NAME & TITLE)

SWPP3 INSPECTION REPORT LOG

INSPECTION NUMBER	NAME OF INSPECTOR	DATE OF INSPECTION	RAIN EVENT	TYPE OF CORRECTIVE ACTION REQUIRED

CORRECTIVE ACTION LOG

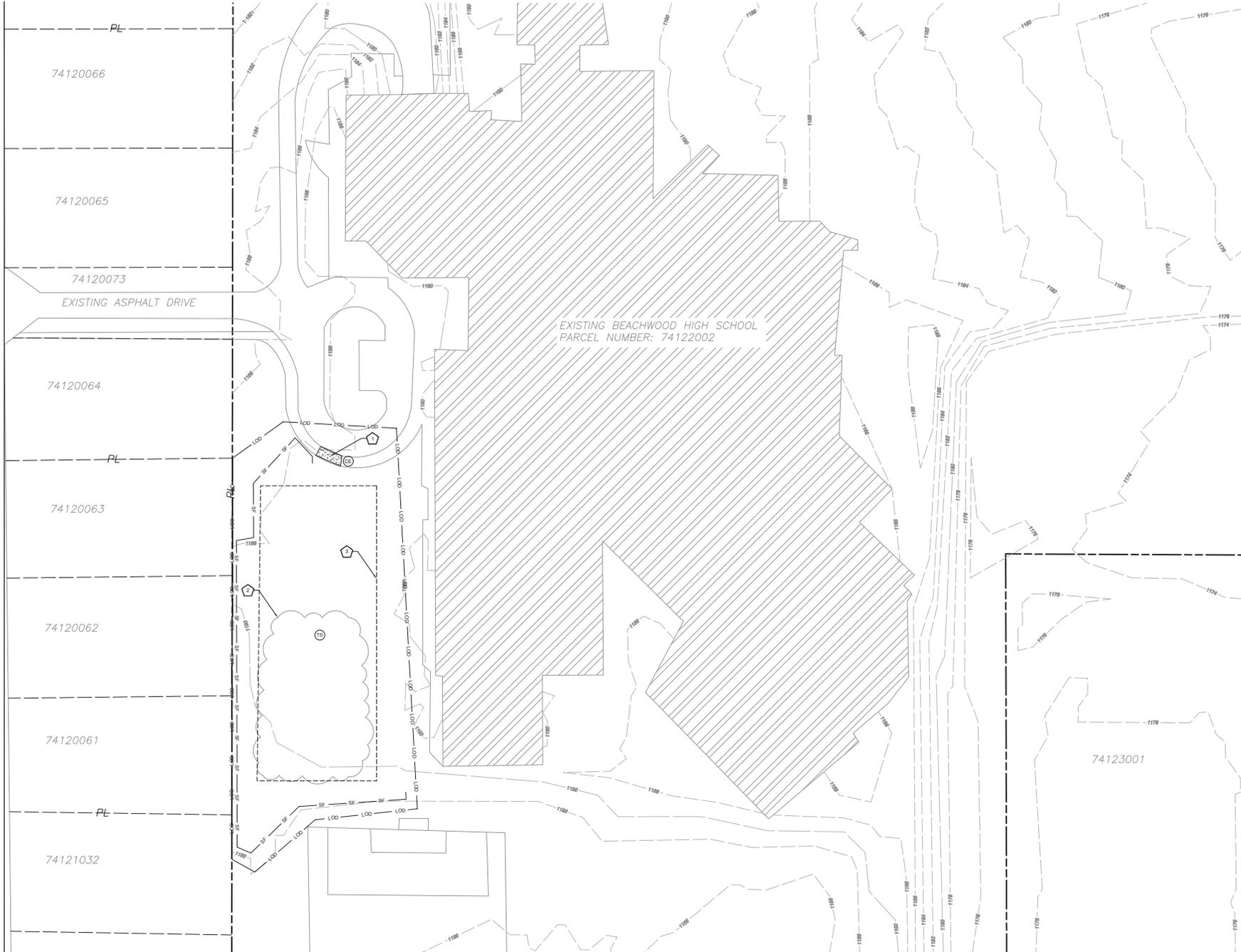
INSPECTION DATE	INSPECTOR NAME	DESCRIPTION OF CORRECTIVE ACTION NEEDED (FROM INSPECTION REPORT)	CORRECTIVE ACTION TAKEN	DATE ACTION TAKEN



1. Storage area should not exceed 1000 sq. ft. Larger areas require a retention design.	4. The gate must have a positive drainage on the outlet and be sufficient to be operation.
2. The channel cross section may be parabolic or trapezoidal. Use the least of the three primary. It shall be 10% higher than designed for sediment. The site shall be inspected for remaining with needed water-carrying equipment. <td>5. Outlet slope shall be established area, site a properly designed outfall, given stabilization structure a well-graded trapping facility. </td>	5. Outlet slope shall be established area, site a properly designed outfall, given stabilization structure a well-graded trapping facility.
3. The maximum cross section of the base or fill shall be no more than 18 inches (4.5 feet) high. When construction traffic will cross, the top may vary to match other fill placed below the specific fill. <td>6. Outlet slope shall be established area, site a properly designed outfall, given stabilization structure a well-graded trapping facility. </td>	6. Outlet slope shall be established area, site a properly designed outfall, given stabilization structure a well-graded trapping facility.

CHAPTER 3 - Temporary Diversion Control II

SHAKERCREST BLVD



LEGEND

	1001	EXISTING CONTOURS
	1050	EXISTING CONTOURS
	SF	SILT FENCE
	LOD	LIMIT OF DISTURBANCE
		TEMPORARY CONSTRUCTION ENTRANCE
		TOPSOIL STOCKPILE LOCATION

KEY NOTES

	ACCESS TO EXISTING STOCKPILE AND TEMPORARY STORAGE PILE LOCATION. PROTECT SIDEWALK WITH ROAD PLATE DURING USE.
	ALTERNATE 1 - MATERIAL TO BE REMOVED
	ALTERNATE 2 - TOP SOIL STORAGE AREA

TOPSOIL STOCKPILE
 ND
 2" = 30'



PROGRESS NOT FOR CONSTRUCTION 4/24/2024



HILLTOP ELEMENTARY SCHOOL
 BEACHWOOD CITY SCHOOL DISTRICT
 24524 HILLTOP DRIVE
 BEACHWOOD, OH 44122

NO.	REV.	DATE	DESCRIPTION
1	01	04/22/24	ISSUED FOR PERMIT
2	01	04/22/24	ISSUED FOR PERMIT
3	01	04/22/24	ISSUED FOR PERMIT
4	01	04/22/24	ISSUED FOR PERMIT
5	01	04/22/24	ISSUED FOR PERMIT
6	01	04/22/24	ISSUED FOR PERMIT
7	01	04/22/24	ISSUED FOR PERMIT
8	01	04/22/24	ISSUED FOR PERMIT
9	01	04/22/24	ISSUED FOR PERMIT
10	01	04/22/24	ISSUED FOR PERMIT
11	01	04/22/24	ISSUED FOR PERMIT
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49	01	04/22/24	ISSUED FOR PERMIT
50	01	04/22/24	ISSUED FOR PERMIT

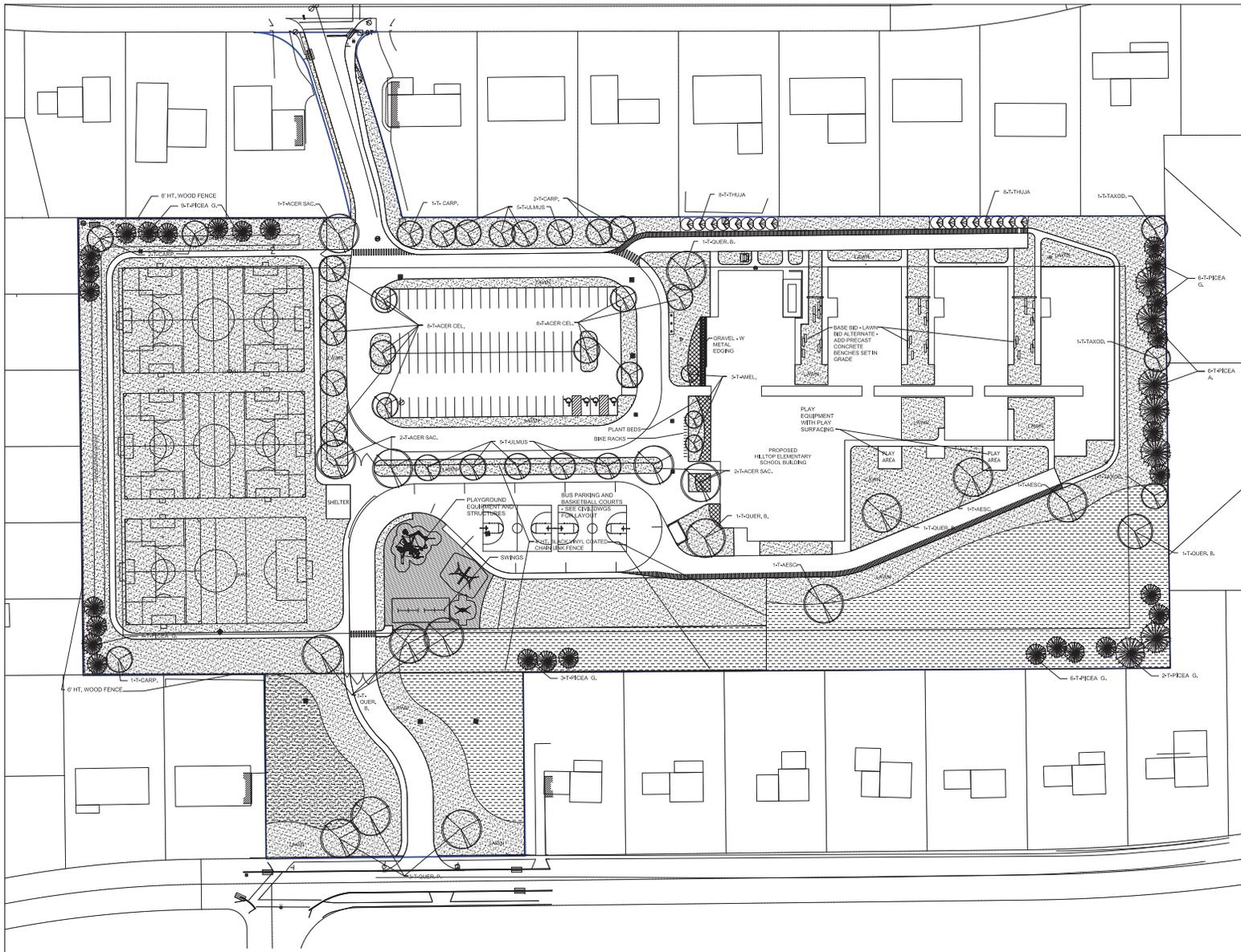
TOPSOIL STOCKPILE

Drawn by: TBA

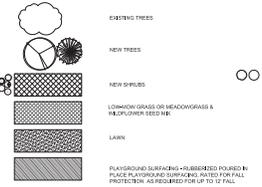
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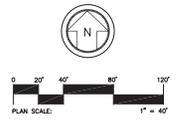
LEGEND -



NOTE

- DATA NOT SHOWN - FOR ALL PERTINENT DATA NOT SHOWN, SEE APPLICABLE CONTRACT DOCUMENTS.
- MEASUREMENTS - CONTRACTOR SHALL VERIFY ALL MEASUREMENTS IN THE FIELD. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCY UNCOVERED IN THE FIELD, IMMEDIATELY, TO DETERMINE ANY MODIFICATIONS REQUIRED.
- EXISTING UTILITIES - THE EXISTING UTILITY DATA SHOWN IS FOR REFERENCE INFORMATION ONLY AND DOES NOT SHOW ALL EXISTING UTILITY DATA. SEE UTILITY PLAN.
- EXISTING TREES / PLANTS - ALL EXISTING PLANT MATERIALS MAY NOT BE SHOWN. REMOVE ALL PLANTS AS SHOWN ON THE DEMOLITION PLAN ONLY. PLANT MATERIALS WITHIN CONSTRUCTION AREAS NOT SHOWN ON THE SURVEY SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. ADDITIONAL PLANT MATERIALS WITHIN CONSTRUCTION ZONES SHALL BE MARKED AND ARCHITECT AND OWNER TO DETERMINE IF REMOVAL OR RETENTION IS REQUIRED. REMOVE ADDITIONAL MATERIALS ONLY AS APPROVED BY ARCHITECT AND OWNER. ALL EXISTING PLANTS TO REMAIN WITHIN THE PROPERTY SHALL PROTECTED BY TREE PROTECTION FENCE OR SHALL BE EXCLUDED FOR THE CONSTRUCTION FENCED AREAS, AT A MINIMUM TO THE DHP LINE OF THE TREE.
- NEW PLANTINGS - CONTRACTOR SHALL LOCATE PLANT MATERIALS LOCATIONS AS SHOWN ON THE DRAWING FOR APPROVAL BY ARCHITECT. PRIOR TO DIGGING HOLES, ADJUST FINAL LOCATION TO AVOID FINAL LOCATION OF ALL UTILITIES AND LIGHTING. ALL TREES SHALL BE A MINIMUM OF 15' FROM FINAL LOCATIONS OF UTILITY AND LIGHT POLES.
- MULCH - ALL NEW TREES AND SHRUBS SHALL RECEIVE A MIN. OF 2" DOUBLE SHREDDED BARK MULCH LAYER OVER PLANT BEDS AND TREE RINGS, PER DETAILS AND SPECIFICATIONS.
- TOPSOIL - ALL SEEDED LAWN, BASKIN AND GRASS AREAS SHALL RECEIVE A MIN. OF 6" OF APPROVED TOPSOIL. ALL SHRUB BEDS SHALL RECEIVE A MIN. OF 12" OF APPROVED PLANT BED MIX TOPSOIL. SEE SPECIFICATION - FINISHED GRADING FOR ADDITIONAL REQUIREMENTS.
- LAWNS - ALL AREAS IDENTIFIED AS LAWN AND ALL AREAS WITHIN THE CONSTRUCTION LIMITS NOT TO BE FINISHED WITH PAVEMENT, WALKWAYS, STRUCTURES OR PLANT BEDS SHALL BE SEED TO LAWN. EXTEND LAWN SEEDING AREA AS NEEDED TO REPAIR ALL AREAS IMPACTED BY CONSTRUCTION.
- SITE FURNISHINGS -
 - BIKE RACKS - BASES OF DESIGN - DEPEND BIKE RACK - SURFACE MOUNT INSTALLATION ON CONCRETE PAVEMENT OR CONCRETE PAD. POWER COAT FINISH. PROVIDE AND INSTALL 14 BIKE RACKS NEAR MAIN ENTRANCE AS SHOWN, COLORS TO BE A RANGE OF STANDARD COLORS INCLUDING YELLOW, RED, ORANGE, BLUE, PURPLE AND GREEN.
 - TRASH & RECYCLING CONTAINERS - PROVIDE 5 SETS OF TWO CONTAINERS - INSTALL AT MAIN ENTRANCE, EACH PLAYGROUND AND EACH COURTYARD ON CONCRETE PAVEMENT OR CONCRETE PAD. BASES OF DESIGN - FORMS - SURFACES - PATCH LETTER & RECYCLING RECEPTACLES. 30 GALLON CAPACITY. HINGED BIKE ACCESS DOOR. SOLID CAST ALUMINUM CONSTRUCTION WITH POWDERCOAT FINISH POLYETHYLENE LINERS. SURFACE MOUNT LITTER OR RECYCLING GRAPHICS ON EACH CONTAINER.
 - BENCHES - PRECAST CONCRETE BENCHES. FINISH TO BE DETERMINED. SET ON CONCRETE PAD OR CONCRETE PAVEMENT. PAD TO BE A MINIMUM OF 6" DEPTH. BASES OF DESIGN -
 - TYPE 'A' - BELLSON - RECTANGULAR CONCRETE BENCH MODEL TFS117 - 48" L, X 16" W, X 18" H.
 - TYPE 'B' - BELLSON - RECTANGULAR CONCRETE BENCH MODEL TFS113 - 72" L, X 16" W, X 18" H.

CONTRACTOR SHALL EXERCISE CAUTION DURING ALL CONSTRUCTION OPERATIONS IN VICINITY OF UNDERGROUND UTILITIES AND SERVICES. CONTRACTOR SHALL NOTIFY AND OBTAIN PERMITS AS SUCH ARE REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITY. CALL 811 OR 1-800-367-2764



NO.	DESCRIPTION	DATE
01	Issue for Review	04/26/2024
02	Issue for Review	05/01/2024
03	Issue for Review	05/01/2024
04	Issue for Review	05/01/2024
05	Issue for Review	05/01/2024
06	Issue for Review	05/01/2024
07	Issue for Review	05/01/2024
08	Issue for Review	05/01/2024
09	Issue for Review	05/01/2024
10	Issue for Review	05/01/2024
11	Issue for Review	05/01/2024
12	Issue for Review	05/01/2024
13	Issue for Review	05/01/2024
14	Issue for Review	05/01/2024
15	Issue for Review	05/01/2024
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47	Issue for Review	05/01/2024
48	Issue for Review	05/01/2024
49	Issue for Review	05/01/2024
50	Issue for Review	05/01/2024

DESIGN DEVELOPMENT LANDSCAPE PLAN

Sheet Number: L101

Scale: 1" = 40'

Date: 05/01/2024

PLANTING - TREE IMAGES



ACER X FREEMANII 'CELEBRATION' ACER SACCHARUM 'GREEN MOUNTAIN' AESCULUS FLAVA AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' CARPINUS CAROLINIANA



QUERCUS BICOLOR QUERCUS PRINUS TAXODIUM DISTICHUM ULMUS X FRONTIER



PICEA ABIES PICEA GLAUCA THUJA PLICATA

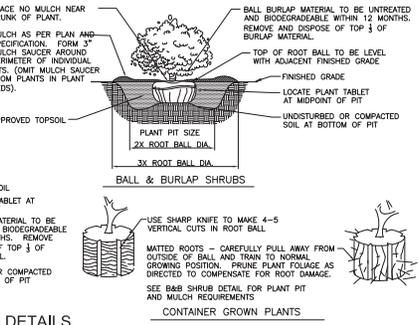
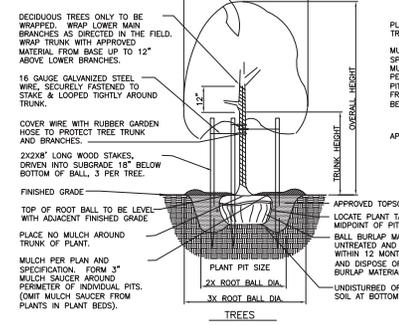
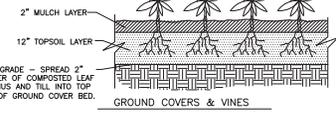
PRELIMINARY PLANT LIST

ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	PLANTED SIZE	MATURE SIZE
SHADE AND ORNAMENTAL TREES					
T-CER-CEL	ACER X FREEMANII 'CELEBRATION'	CELEBRATION MAPLE	12	2" CAL. BAB	40' HT. X 20' W.
T-CER-SAC	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	5	2" CAL. BAB	40' HT. X 20' W.
T-CER-YEL	ACER SACCHARUM 'YELLOW BIRD'	YELLOW BIRD	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-PAN	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3	10' HT. CALIMP. BAB	40' HT. X 18' W.
T-CER-CAR	CARPINUS CAROLINIANA	HURDLE OAK	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-QB	QUERCUS BICOLOR	SWAMP WHITE OAK	7	2" CAL. BAB	40' HT. X 40' W.
T-CER-QP	QUERCUS PRINUS	CHERRYBARK OAK	7	2" CAL. BAB	40' HT. X 40' W.
T-CER-TD	TAXODIUM DISTICHUM	BALD CYPRESS	3	2" CAL. BAB	40' HT. X 20' W.
T-CER-UF	ULMUS X FRONTIER	FRONTIER ELM	10	2" CAL. BAB	50' HT. X 20' W.
EVERGREEN TREES					
T-CEA-AB	PICEA ABIES	NORWAY SPRUCE	7	6" HT. BAB	60' HT. X 30' W.
T-CEA-GL	PICEA GLAUCA	WHITE SPRUCE	5	6" HT. BAB	60' HT. X 30' W.
T-THU-PL	THUJA PLICATA 'GREEN GIANT'	GIANT WESTERN ARBORVITAE	16	6" HT. BAB	70' HT. X 8.0' W.
SHRUBS					
S-AM-BL	AESCULUS PARNELI OBA	BOTTLE BRUSH BUCKEYE	215	3/4" NO. 3 CONT.	6" HT. X 12" W.
S-AR-AR	ARONIA MELANOCARPA 'AUTUMN MAGIC'	BLACK CHERRYBERRY	24	NO. 3 CONT.	4" HT. X 8" W.
S-CAL-AT	CALYCANTHUS FLOREUS 'ATHENS'	ATHENS SWEETSHRUB	18	NO. 3 CONT.	36" HT. X 4.8" W.
S-COR-PR	CORONILLA PLEBENSIS	SWEET PEECH	15	NO. 3 CONT.	36" HT. X 4.8" W.
S-COR-AT	CORONILLA ALLIUM	SILKY DOGWOOD	18	NO. 3 CONT.	6" HT. X 8" W.
S-FO-FO	POTYDORONIA COPULENSIS	DIWIDE FORTYSHILLA	15	NO. 3 CONT.	36" HT. X 4.8" W.
S-HY-AN	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18	NO. 3 CONT.	36" HT. X 3.6" W.
S-HY-AN	HYDRANGEA OLEIFOLIA 'MERCURY'	DIWIDE GARDEN HYDRANGEA	20	NO. 3 CONT.	36" HT. X 4.8" W.
S-ILEX	ILEX GLABRA 'DESER'	COMPACT HEDGE	18	NO. 4 CONT.	34" HT. X 4.8" W.
S-ILEX	ILEX VEICUNIA 'SHERIDAN'S GARDEN'	HEDGE GARDEN SWEETSPINE	18	NO. 3 CONT.	34" HT. X 4.8" W.
S-SPY-SC	PHYSCOPARUS OXYPOLEUS 'SUMMER WINE'	SUMMER WINE ANEBERR	24	NO. 3 CONT.	7" HT. X 7" W.
S-SPY-SC	POTENTILLA FRUTICOSA 'SOLDADERS'	GOLDENRINGER POTENTILLA	15	NO. 3 CONT.	3.5" HT. X 3" W.
ORNAMENTAL GRASSES - IN PLANT BEDS - PLANT AT 24" OC.					
G-AND-RO	ANDROPOGON GERARDII 'RED OCTOBER'	RED OCTOBER BEG BLUESTEM	50	CLUMP NO. 2 CONT.	24" HT.
G-DEZ-SP	PASTINACA VICTORIA 'SPRING CHOCOLATE'	RED SPICE GRASS	15	CLUMP NO. 2 CONT.	34" HT.

NOTE - QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLAN.

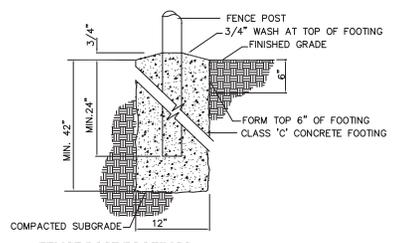
PLANTING NOTES

1. TOPSOIL BACKFILL FOR SHRUBS AND TREES SHALL BE WELL-MIXED WITH COMPOST PEAT MATERIAL, 50% BY VOLUME AS APPROVED BEFORE PLANTING.
2. PLANT FERTILIZER - SHALL BE PLANT TABLETS (AGRIFORM 20-10-5 OR APPROVED EQUAL). USE (1) 21 TABLET FOR EACH 2" CAL. OF TREE SIZE AND EACH 1" HEIGHT OR SPREAD OF SHRUB SIZE.
3. ALL PLANTS TO CONFORM TO ANSI Z 60.1 (LATEST EDITION).

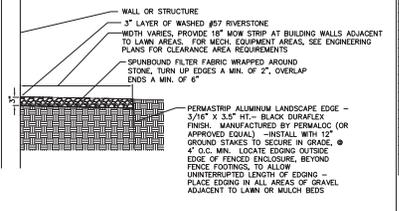


PLANTING DETAILS

SCALE: NOT TO SCALE



FENCE POST FOOTINGS
NOT TO SCALE



BUILDING MOW STRIP AND GRAVEL AREAS SURROUNDING MECH. EQUIP.
NOT TO SCALE

PRELIMINARY PLAYGROUND IMAGES



PROGRESS
NOI FOR
CONSTRUCTION
2/17/2024



HILLTOP ELEMENTARY SCHOOL
BEACHWOOD CITY SCHOOL DISTRICT
24524 HILLTOP DRIVE
BEACHWOOD, OH 44122

NO.	DESCRIPTION	DATE
01	Sheet 1 of 1	01/25/2024
02	Sheet 2 of 1	01/25/2024
03	Sheet 3 of 1	01/25/2024
04	Sheet 4 of 1	01/25/2024
05	Sheet 5 of 1	01/25/2024
06	Sheet 6 of 1	01/25/2024
07	Sheet 7 of 1	01/25/2024
08	Sheet 8 of 1	01/25/2024
09	Sheet 9 of 1	01/25/2024
10	Sheet 10 of 1	01/25/2024
11	Sheet 11 of 1	01/25/2024
12	Sheet 12 of 1	01/25/2024
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14	Sheet 14 of 1	01/25/2024
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42	Sheet 42 of 1	01/25/2024
43	Sheet 43 of 1	01/25/2024
44	Sheet 44 of 1	01/25/2024
45	Sheet 45 of 1	01/25/2024
46	Sheet 46 of 1	01/25/2024
47	Sheet 47 of 1	01/25/2024
48	Sheet 48 of 1	01/25/2024
49	Sheet 49 of 1	01/25/2024
50	Sheet 50 of 1	01/25/2024

DESIGN DEVELOPMENT
LANDSCAPE DETAILS

Sheet number: **L102**

Job number: 20064

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 15, 2024

RE: **P&Z 2024-4(A) ThenDesign Architecture
Beachwood Board of Education
Hilltop School
Final Site Development Plan**

This request is for approval of the final site development plan. The property is zoned U-5 Public and Institutional District. The applicant is proposing to construct a new elementary school that would accommodate grades 3 – 5. The proposed plan provides for 29 classrooms as well as an office wing of approximately 2,400 square feet, a media center of about 2,887 square feet, a cafeteria, and a gymnasium. The offices, media center, cafeteria, and gymnasium are grouped together in the western most wing of the building. Going eastward there are three classroom wings.

The site would be accessed from both Hilltop Drive and Penshurst Drive. Buses would use the Penshurst Drive access, while parent drop-off and pick-up would be via Hilltop Drive. The site plan indicates a total of 90 parking spaces, which exceeds the minimum Code requirement. The building is located on the eastern portion of the site with the parking in the center. The site plan includes outdoor play areas, including soccer and baseball/softball fields and playground equipment. The play areas and fields are located on the western end of the site.

There is a significant grade change on the site from rising from east to west. The applicant has located the taller portions of the building to the west with the shorter elements to the east. As a result, while ground grades rise going to the east, the roof elevation at the eastern end, which has a height of 14 feet, is basically the same as the taller elements at the western end, which are 27 feet in height.

The applicant has provided a photometric lighting plan. All of the proposed lighting is LED with full cut-off fixtures in compliance with the Code. The photometric plan shows no light spillage beyond the boundaries of the subject site.

The applicant has provided a detailed landscaping plan that specifies the number, species, and initial planting size of all proposed plant materials. The overall plan is a combination of ornamental and evergreen trees with a variety of shrubs. The landscape plan also includes details for the various playground equipment. Planting size of trees is 6 feet for evergreens and 2-inch caliper for ornamental, which is consistent with City standards.

The applicant provided a sight line study at the eastern end of the property for the two houses on the Margot Court cul-de-sac. As noted above, the eastern wall of the building is 14 feet in height. The school site then rises two (2) feet from the rear wall to the property line. The two houses on Margot Court have finished grades that are approximately four (4) feet higher than that property line, so the ground grade at the houses is about six (6) feet higher than at rear of the school. The edge of the deck of the nearest house is approximately 71 feet from the rear wall of the school. The result is a height differential of eight (8) feet over a distance of 71 feet. The rear wall of the building is approximately 170 feet long.

The landscape plan proposes a screen buffer for the two houses that includes fifteen (15) evergreen trees (6 Norway Spruce, 6 White Spruce, and 3 Bald Cypress). It is recommended that to create a more effective buffer sooner, the applicant add six (6) additional spruce trees to the buffer and that the planting size of the trees within this buffer area be increased to eight (8) feet in height. The remainder of the screen buffers appear adequate as proposed.

The final site development t plan appears to be compliant with the minimum standards of the U-5 Public and Institutional District and with the previously approved preliminary site plan. It is recommended that the Commission grant final site development plan approval subject to the following:

1. Compliance with the comments and recommendations of the City Engineer and Fire Department; and
2. Revision of the landscape plan to increase the number and size of trees in the eastern screen buffer as noted.



GPD GROUP
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545

www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 21, 2024

2022120.02

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 7

P & Z 2024-04 (A) Ryan Schmit, Then Design Architecture, on behalf of Beachwood Board of Education, is requesting final site plan approval for a proposed new school to be located at 24524 Hilltop Drive, Hilltop Elementary School.

We have reviewed the plans submitted and recommend final site plan approval, contingent upon receiving final plans to complete our review.

We have already recommended an early site package approval for preliminary work to proceed. Once a complete set of final plans are submitted we will review for final permits.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-4A Final Site Plan (24524 Hilltop Dr.)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. Provide fire lane around structure as discussed in planning meeting. Minimum width of 22 feet.
2. Standpipe will be installed due to limited vehicle access. Location of standpipe and FDC to be determined by fire prevention.
3. Fire hydrants to be installed around structure. Location to be determined at plan submittal by fire prevention.
4. The fire department has no additional comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: Apr 29, 2024

OWNER OF BUILDING: BASF PHONE: 216-464-5710

STREET ADDRESS: 23800 Mercantile Road

CITY/STATE/ZIP: BEACHWOOD, OH 44112

APPLICANT: ROBERT PRUNCHAK PHONE: 609-954-3297

COMPANY OR FIRM: BASF

EMAIL: rob.prunchak@basf.com

STREET ADDRESS: 23800 Mercantile Road

CITY/STATE/ZIP: BEACHWOOD, OH 44112

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Matt Bedee, RA MIDDOUGH Representing BASF

DESCRIPTION OF THE PROPERTY:

ADDRESS: 23800 Mercantile Road SUITE # _____

TENANT NAME: BASF

PERMANENT PARCEL # 742-240-12 PRESENT USE: B/S1 PROPOSED USE: B/S1

PURPOSE OF APPLICATION: Addition of a 5,000 SF warehouse, 700 SF Dumpster pad, 256 SF EQUIPMENT Pad, STORMWATER RETENTION BASIN

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

AVAILABLE PARKING IS ADEQUATE FOR FACILITY HEADCOUNT

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Robert Pruchak
PRINTED NAME

04/25/2024
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
Brian Roenigk, Building Commissioner
Phone (216) 292-1914 • Fax (216) 292-1917

Primary Owner The Harshaw Chemical Company
Property Address 23800 Mercantile RD Beachwood,OH 44122
Tax Mailing Address c/o BASF Corporation 100 Park Avenue FLORHAM PARK, NJ 07932
Description 59 NWP 658.91FT N OF HIGHPOINT RD
Property Class RESEARCH AND DEVELOPMENT FACILITIES
Parcel Number 742-24-012
Taxset Beachwood
Tax Year 2023

Assessed Values	
Land Value	\$384,370
Building Value	\$939,120
Total Value	<u>\$1,323,490</u>
Homestead Value	\$

Market Values	
Land Value	\$1,098,200
Building Value	\$2,683,200
Total Value	<u>\$3,781,400</u>

Flags	
Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts	
Gross Tax	\$80,540.98
Less 920 Reduction	\$28,616.84
Sub Total	\$51,924.14
10% Reduction Amount	\$0.00
Owner Occupancy Credit	\$0.00
Homestead Reduction Amount	\$0.00
Total Assessments	\$463.32
Half Year Net Taxes	<u>\$52,387.46</u>

Rates	
Full Rate	123.26
920 Reduction Rate	.350798
Effective Rate	80.020588

Escrow	
Escrow	N
Payment Amount	\$0.00

Tax Balance Summary	Charges	Payments	Balance Due
	\$104,774.92	\$104,774.92	\$0.00

2023 (pay in 2024) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$51,924.14	\$51,924.14	\$0.00
	1ST HALF BALANCE	\$51,924.14	\$51,924.14	\$0.00
	2nd half tax	\$51,924.14	\$51,924.14	\$0.00
	2ND HALF BALANCE	\$51,924.14	\$51,924.14	\$0.00
C100030C-SEWER MAINTENANCE				
	1st half tax - 2023	\$231.66	\$231.66	\$0.00
	1ST HALF BALANCE	\$231.66	\$231.66	\$0.00
	2nd half tax - 2023	\$231.66	\$231.66	\$0.00
	2ND HALF BALANCE	\$231.66	\$231.66	\$0.00
C100030S-Sewer Maintenance				
	1st half tax - 2023	\$231.66	\$231.66	\$0.00
	1ST HALF BALANCE	\$231.66	\$231.66	\$0.00
	2nd half tax - 2023	\$231.66	\$231.66	\$0.00
	2ND HALF BALANCE	\$231.66	\$231.66	\$0.00

2023 Taxes	Charges	Payments	Balance Due
Tax Balance Summary	\$104,774.92	\$104,774.92	\$0.00

Disclaimer: Information included on this report is believed to be accurate but is not guaranteed. Cuyahoga County is not liable for errors or omissions. Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

APPLICANT: BASF

P&Z:	ZONING DATA		DATE: 4/23/24
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U8	no change	none
MINIMUM LOT AREA	1 acre	no change	none
MINIMUM LOT FRONTAGE	150 ft	no change	none
MINIMUM FRONT YARD BUILDING SETBACK	100 ft	no change	none
MINIMUM SIDE YARD BUILDING SETBACK	individual not less 20 ft, combined not less than 80ft	no change	none
MINIMUM REAR YARD BUILDING SETBACK	not less than 50 ft	no change	none
MAXIMUM BUILDING HEIGHT	42 ft	proposed building will be less than 25 ft height ⁺	none
MINIMUM LANDSCAPED AREA	all portions of yards are developed as lawns and maintained	all portions of yards are developed as lawns and maintained ⁺	none
MINIMUM PARKING SETBACKS	Front = 11 ft Side = 3 ft Rear = 30 ft	Front = no change Side = no change Rear = no change	none
MINIMUM DRIVE AISLE	24 ft	no change	none
MINIMUM PARKING STALL	9 ft wide, 20 ft long	no change	none
MINIMUM OFF-STREET PARKING	based on 1 ps per 400sf =182 spaces current parking 114 ps for 81	proposed parking 110 ps for 90 employees	
SITE DEVELOPMENT PLANS			

Existing Site Aerial 23800 Mercantile Road



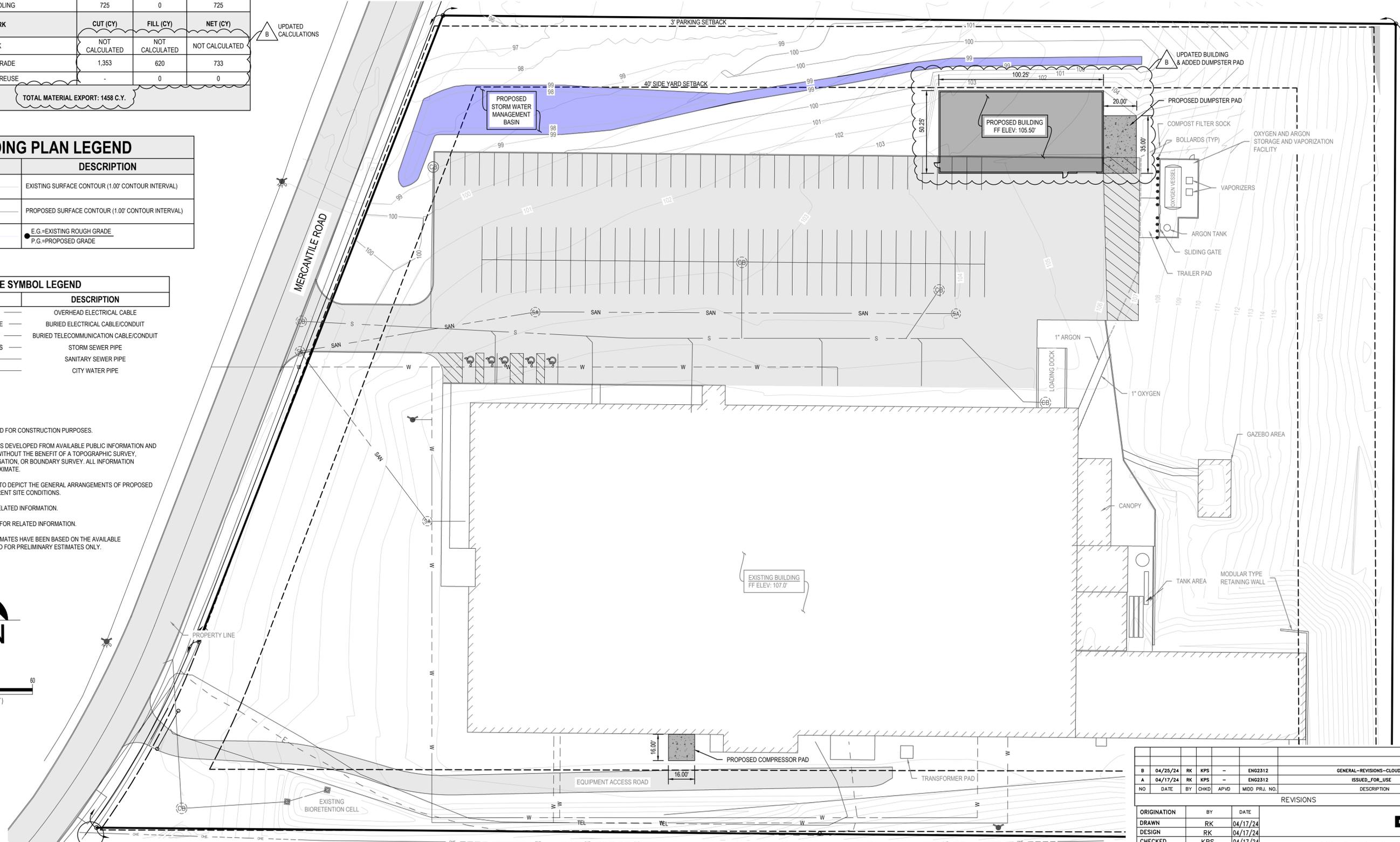
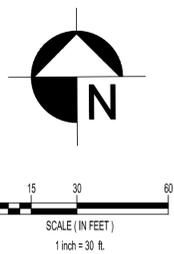
EARTHWORK QUANTITY ESTIMATE			
SURFACE PREPERATION	CUT (CY)	REUSE (CY)	WASTE (CY)
TOPSOIL HANDLING	725	0	725
EARTHWORK	CUT (CY)	FILL (CY)	NET (CY)
BEDROCK	NOT CALCULATED	NOT CALCULATED	NOT CALCULATED
SOIL TO SUBGRADE	1,353	620	733
SURFACE SOIL REUSE	-	0	0
TOTAL MATERIAL EXPORT: 1458 C.Y.			

GRADING PLAN LEGEND	
SYMBOL / ID	DESCRIPTION
	EXISTING SURFACE CONTOUR (1.00' CONTOUR INTERVAL)
	PROPOSED SURFACE CONTOUR (1.00' CONTOUR INTERVAL)
	E.G.=EXISTING ROUGH GRADE
	P.G.=PROPOSED GRADE

LINE SYMBOL LEGEND	
EXISTING	DESCRIPTION
	OVERHEAD ELECTRICAL CABLE
	BURIED ELECTRICAL CABLE/CONDUIT
	BURIED TELECOMMUNICATION CABLE/CONDUIT
	STORM SEWER PIPE
	SANITARY SEWER PIPE
	CITY WATER PIPE

GENERAL NOTE:

- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- THIS CONCEPTUAL SITE PLAN WAS DEVELOPED FROM AVAILABLE PUBLIC INFORMATION AND CLIENT REFERENCE DRAWINGS WITHOUT THE BENEFIT OF A TOPOGRAPHIC SURVEY, UNDERGROUND UTILITY INVESTIGATION, OR BOUNDARY SURVEY. ALL INFORMATION SHOULD BE CONSIDERED APPROXIMATE.
- THE INTENT OF THE DRAWING IS TO DEPICT THE GENERAL ARRANGEMENTS OF PROPOSED WORK IN RELATION TO THE CURRENT SITE CONDITIONS.
- SEE BUILDING DRAWINGS FOR RELATED INFORMATION.
- SEE COMPRESSOR PAD DETAILS FOR RELATED INFORMATION.
- THE EARTHWORK QUANTITY ESTIMATES HAVE BEEN BASED ON THE AVAILABLE INFORMATION AND ARE PROVIDED FOR PRELIMINARY ESTIMATES ONLY.



**ISSUED FOR PRELIMINARY
PLANNING AND ZONING REVIEW
APRIL 29, 2024**

NO	DATE	BY	CHKD	APVD	MDD PRA. NO.	DESCRIPTION
B	04/25/24	RK	KPS	-	ENG2312	GENERAL-REVISIONS-CLOUDED
A	04/17/24	RK	KPS	-	ENG2312	ISSUED FOR USE

ORIGINATION	BY	DATE
DRAWN	RK	04/17/24
DESIGN	RK	04/17/24
CHECKED	KPS	04/17/24
APPROVAL	BY	DATE

REVISIONS				
SITE	LOCATION	TYPE	GROUP	SHEET
CAD INFORMATION				

PROJECT No.	SCALE
BEACHWOOD	NOTED

PROJECT TRIANGLE LAB BUILDOUT	
CONCEPTUAL SITE PLAN	
DRAWING NUMBER	REV
ENG2312-CSP1	A

STATE LICENSE #:

OWNER:

CLIENT PROJECT #:

PROJECT TITLE:

**PROJECT
TRIANGLE**

23800 Mercantile Rd
Beachwood, OH 44122

ISSUE	DATE	BY	CHKD	RS	DESCRIPTION
A	04-18-24	MLB			ISSUE FOR APPROVAL

COPYRIGHT (C) MIDDOUGH 2024

DRAWN BY: Author

CHECKED BY: Checker

APPROVED BY: Approver

AOR / EOR:

SHEET TITLE:

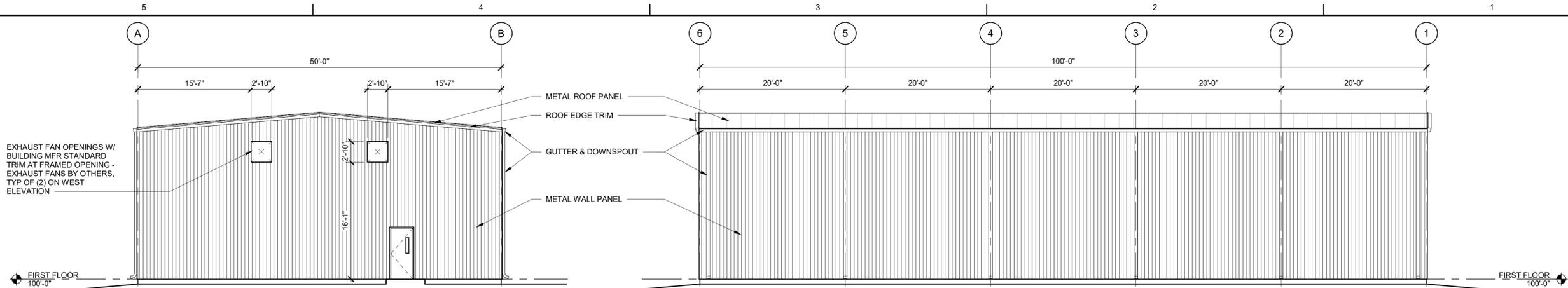
**PRE-ENGINEERED
METAL BUILDING
CRITERIA BUILDING
ELEVATIONS /
SECTIONS**

DOCUMENT CONTROL #:

PROJECT # - DISC # - SHEET # ISSUE

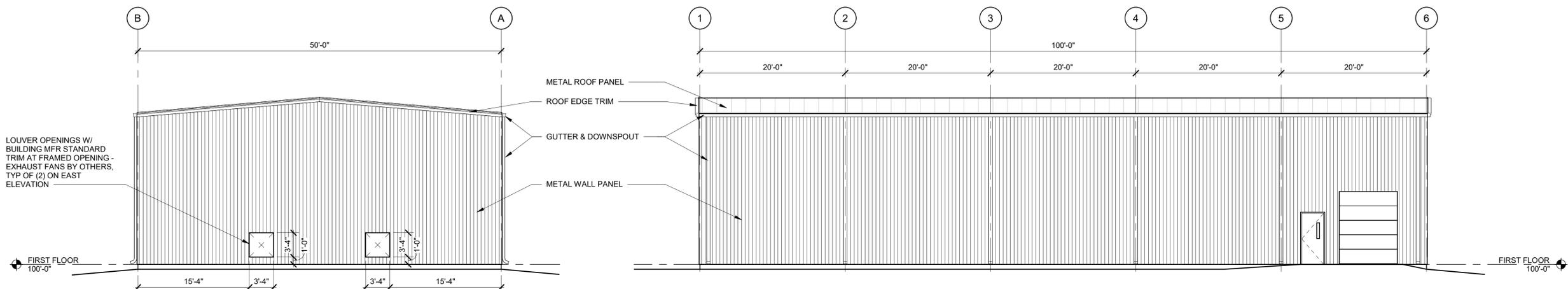
ENG2312-050-AE201 A

4/18/2024 1:28:34 PM



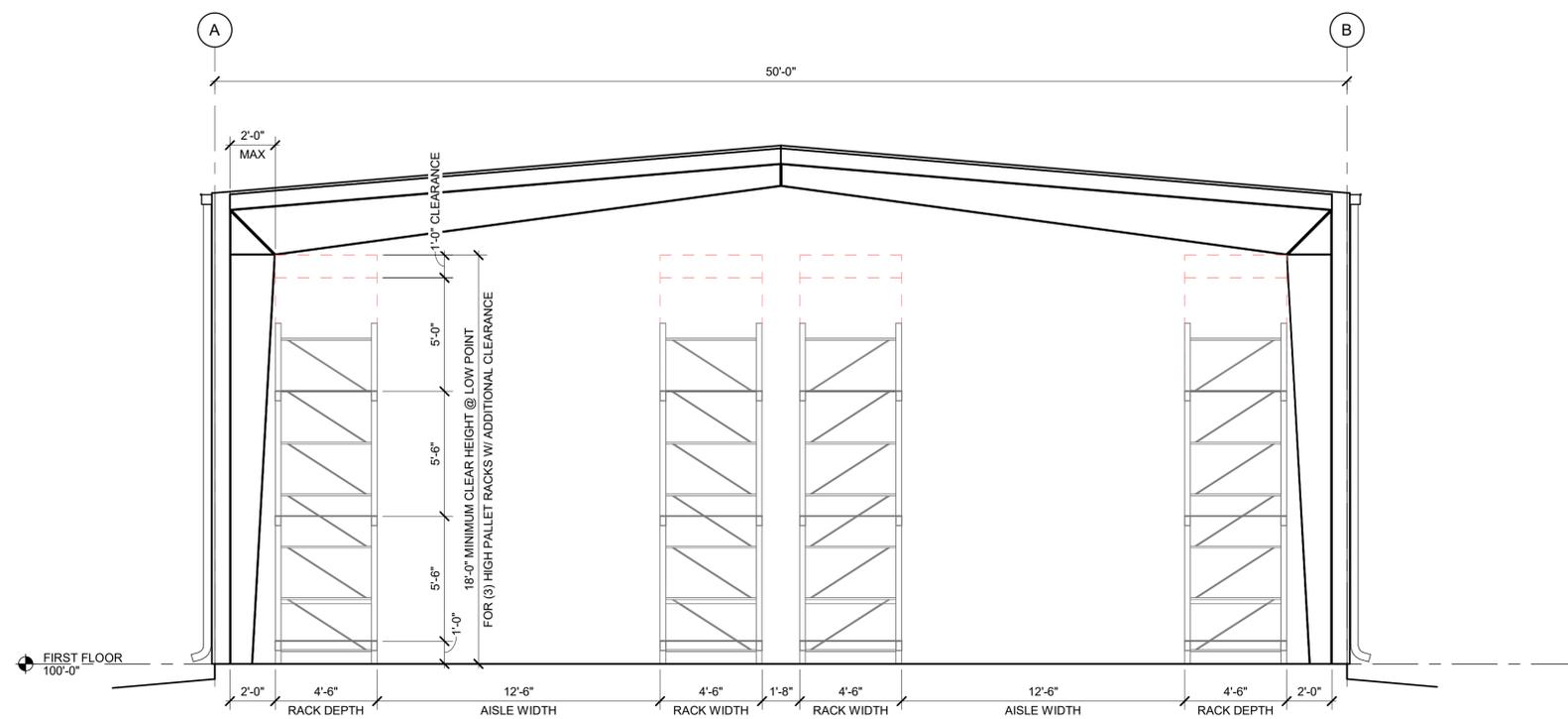
1 WEST ELEVATION
AE110 SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
AE110 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
AE110 SCALE: 1/8" = 1'-0"

4 SOUTH ELEVATION
AE110 SCALE: 1/8" = 1'-0"



AA BUILDING SECTION
AE110 SCALE: 1/4" = 1'-0"

**ISSUED FOR PRELIMINARY
PLANNING AND ZONING
REVIEW APRIL 29, 2024**

GENERAL NOTES

- SEE METAL BUILDING SYSTEM SPECIFICATION, ENG2312-050-TECH-133419, FOR PRE-ENGINEERED METAL BUILDING (PEMB) DESIGN REQUIREMENTS
 - MINIMUM CLEAR HEIGHT PROVIDED IN BUILDING SECTION
 - TAPERED PEMB STRUCTURE INDICATED, STRAIGHT COLUMNS ARE ALSO ACCEPTABLE
 - BUILDING LINES TO BE MAINTAINED
- DOOR TYPES INDICATED ON PLANS PROVIDED BY PEMB MFR UNLESS NOTED OTHERWISE:
 - TYPE A: EXTERIOR 3'-0" X 7'-0" SINGLE NARROW VIEW INSULATED MAN DOOR W/ WEATHERSTRIPPING, CLOSER, AND EXIT DEVICE
 - TYPE B: EXTERIOR 8'-0" W X 10'-0" H MOTORIZED INSULATED SECTIONAL OVERHEAD DOOR W/ APPROPRIATE TRACK FOR MOUNTING

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 9, 2024

RE: **P&Z 2024-13 RA Middough
BASF
23800 Mercantile Road
Site Development Plan Approval**



This request is for preliminary site development plan approval for a new warehouse building to be located north of the existing building. The subject site is in the U-8 Industrial and Office Mixed-Use District. The existing facility consists of 82,025 square feet. The proposed new building is 5,000 square feet and would bring the total building area on the site to 87,025 square feet. The subject site is still well within the permitted building ground coverage. The new building would be located at the north east corner of the parking lot. The site plan indicates a new dumpster pad located directly behind the new building and between the new building and the storage tank compound. The site development plan also includes a new compressor pad to be located on the south side of the main building.

It appears that four (4) parking spaces will be eliminated to accommodate construction of the proposed building. Since the site currently has 114 improved parking spaces, the parking count would drop to 110 spaces. In 2013, the City granted BASF a parking variance of 94 spaces. As a result, the site has the equivalent of 204 parking spaces. The Code required parking is 196 spaces.

Based on the attached Box Score, the proposed preliminary site development plan will conform to the minimum requirements of the U-8 District

It is recommended that the Planning and Zoning Commission grant preliminary site development plan approval subject to compliance with the comments and recommendations of the City Engineer.

ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-8	U-8	
MINIMUM LOT AREA	1.0 Acres	7.47 Acres	
MAXIMUM BUILDING GROUND COVERAGE	40% or 130,158 Sq. Ft.	26.7% or 87,025 Sq. Ft.	
MINIMUM FRONT YARD BUILDING SETBACK	100 Feet	100 Feet	
MINIMUM SIDE YARD BUILDING SETBACK	20 Feet and 80 Feet Combined	40 Feet and 80 Feet Combined	
MINIMUM REAR YARD BUILDING SETBACK	50 Feet	50 Feet	
MAXIMUM BUILDING HEIGHT	42 Feet	22 Feet	
MINIMUM OPEN SPACE	5% of land area	Complies	
MINIMUM PARKING SETBACKS	Front = 11 Feet Sides = 3 Feet Rear = 30 Feet	Front = 25 Feet Side = 80 Feet Rear = 150 Feet	
MINIMUM OFF-STREET PARKING	196 Spaces	110 Existing Spaces <u>94 Space Variance</u> 204 Spaces	



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Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545

www.gpdgroup.com

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 21, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 8

P & Z 2024-13 Matt Bedee, Middough, on behalf of BASF, is requesting preliminary site plan approval for a warehouse addition to be located at 23800 Mercantile Road.

This project is recommended for preliminary site plan approval. Proposed grading and storm water management will be reviewed prior to final approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-13 23800 Mercantile

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 4-29-2024

OWNER OF BUILDING: JOSEPH IRELAND PHONE: 216-906-7471

STREET ADDRESS: 24230 COMMUNITY DRIVE

CITY/STATE/ZIP: BEACHWOOD OHIO 44122

APPLICANT: MELISSA REYNOLDS PHONE: 216-631-2111

COMPANY OR FIRM: ROLEN BROTHERS FENCE CO INC

EMAIL: SALES@ROLENBROTHERSFENCE.COM

STREET ADDRESS: 3445 WEST 86TH ST

CITY/STATE/ZIP: CLEVELAND OHIO 44102

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

MELISSA REYNOLDS SALES@ROLENBROTHERSFENCE.COM

JOSEPH IRELAND

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24230 COMMUNITY DRIVE SUITE #

TENANT NAME: OWNER OCCUPIED

PERMANENT PARCEL # 741 - 12 - 002 PRESENT USE: PROPOSED USE:

PURPOSE OF APPLICATION: REQUEST VARIANCE TO REPLACE 6' HIGH WOOD FENCE ALONG CHAGRIN BLVD.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

EXISTING FENCE IN DISREPAIR.REQUEST VARIANCE TO REPLACE IT.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain.

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

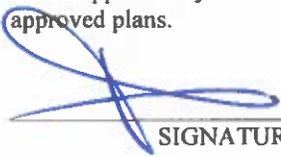
Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


MELISSA REYNOLDS
4-29-24

 SIGNATURE PRINTED NAME DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____ Date Final Approval: _____ Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
 Brian Roenigk, Building Commissioner
 Phone (216) 292-1914 • Fax (216) 292-1917

Primary Owner IRELAND, JOSEPH B & IRELAND, CHANNA F
Property Address 24230 Community DR Beachwood, OH 44122
Tax Mailing Address IRELAND, JOSEPH B 24230 COMMUNITY DR BEACHWOOD, OH 44122
Description 9 UNION 0015 ALL
Property Class SINGLE FAMILY DWELLING
Parcel Number 741-12-002
Taxset Beachwood
Tax Year 2023

Assessed Values

Land Value	\$36,750
Building Value	\$241,640
Total Value	<u>\$278,390</u>
Homestead Value	\$

Market Values

Land Value	\$105,000
Building Value	<u>\$690,400</u>
Total Value	<u>\$795,400</u>

Flags

Owner Occupancy Credit	Y
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts

Gross Tax	\$16,941.42
Less 920 Reduction	\$7,803.17
Sub Total	<u>\$9,138.25</u>
10% Reduction Amount	\$679.15
Owner Occupancy Credit	\$169.78
Homestead Reduction Amount	\$.00
Total Assessments	<u>\$136.46</u>
Half Year Net Taxes	<u>\$8,425.78</u>

Rates

Full Rate	123.26
920 Reduction Rate	.454801
Effective Rate	67.201265

Escrow

Escrow	N
Payment Amount	\$.00

Tax Balance Summary	Charges	Payments	Balance Due
	\$16,851.54	\$8,611.29	\$8,240.25

2023 (pay in 2024) Charge and Payment Detail

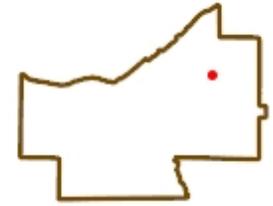
Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$8,289.32	\$8,289.32	\$.00
	1ST HALF BALANCE	\$8,289.32	\$8,289.32	\$.00
	2nd half tax	\$8,289.32	\$185.51	\$8,103.81
	2ND HALF BALANCE	\$8,289.32	\$185.51	\$8,103.81
C100030C-SEWER MAINTENANCE				
	1st half tax - 2023	\$68.23	\$68.23	\$.00
	1ST HALF BALANCE	\$68.23	\$68.23	\$.00
	2nd half tax - 2023	\$68.22	\$.00	\$68.22
	2ND HALF BALANCE	\$68.22	\$.00	\$68.22
C100030S-Sewer Maintenance				
	1st half tax - 2023	\$68.23	\$68.23	\$.00
	1ST HALF BALANCE	\$68.23	\$68.23	\$.00
	2nd half tax - 2023	\$68.22	\$.00	\$68.22
	2ND HALF BALANCE	\$68.22	\$.00	\$68.22

2023 Taxes	Charges	Payments	Balance Due
Tax Balance Summary	\$16,851.54	\$8,611.29	\$8,240.25

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Cuyahoga County GIS Viewer



Date Created: 4/30/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

1: 1,339



Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Search by address, Owner last name, or Parcel number

Basic Tools

Navigation

Measurement and Markup

Identify and Query

Additional Data Tools

Tool Labels X



Home



Identify



Initial View



Print



Export



Share



EagleView



Google Street View

Basic Tools

Survey Parcel (1)

☆ Survey Parcel 74112002

[See parcel details in MyPlace](#)

Owner: IRELAND, JOSEPH B & IRELAND, CHANNA F
Address: 24230 COMMUNITY DR, BEACHWOOD, OH, 44122

[Search Recorded Documents](#)

[View Building Sketch](#)

Displaying 1 - 1 (Total: 1)

Page 1 of 1



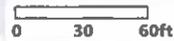
Layers



Survey Parcel (1)



Basemaps



**Joseph Ireland
24260 Community Drive
Beachwood 44122**

The existing fence along Cedar Rd is old, in disrepair and needs to be replaced. Replacing exactly the way it is installed is not within today's code. The fence has been there for 20+ years. The current owners purchased the property in 2017 when the fence was already old and already on its way to needing to be replaced and were unaware of changes in code that would affect that.

The current code requires it to be 20' off road and the existing fence is approximately 12' off road. Landscaping and trees do not make moving it back the additional 8' feasible. The fence has been in place for over 20 years and the landscaping is formed around its current position.

The current code also does not allow for it to pass the house or allow solid fences, but the way the house is situated on the property doesn't allow the fence to give the coverage from the main road the owner requires. A semi-private fence also does not give the privacy from the busy main road the owner requires.

Current code does not allow a property to have fence that is not uniform in color, material, and design. The current fence on the front property line is a split rail fence and on the side line (facing Cedar) is a privacy fence. Both fences are uniform in color (natural wood) and material (wood) and only differ in design. Both fences have been on the property for over 20 years.

REMOVE AND REPLACE 181' OF 6' HIGH WOOD PRIVACY FENCE.
ALL POSTS SET IN CONCRETE.

JOSEPH IRELAND (OWNER)
24230 COMMUNITY DRIVE
BEACHWOOD 44122
216-906-7471



SCALE: 1"=40'

XXXX = PROPOSED REPLACEMENT FENCE

OOOO = EXISTING SPLIT RAIL FENCE

O = TREES NEAR FENCE

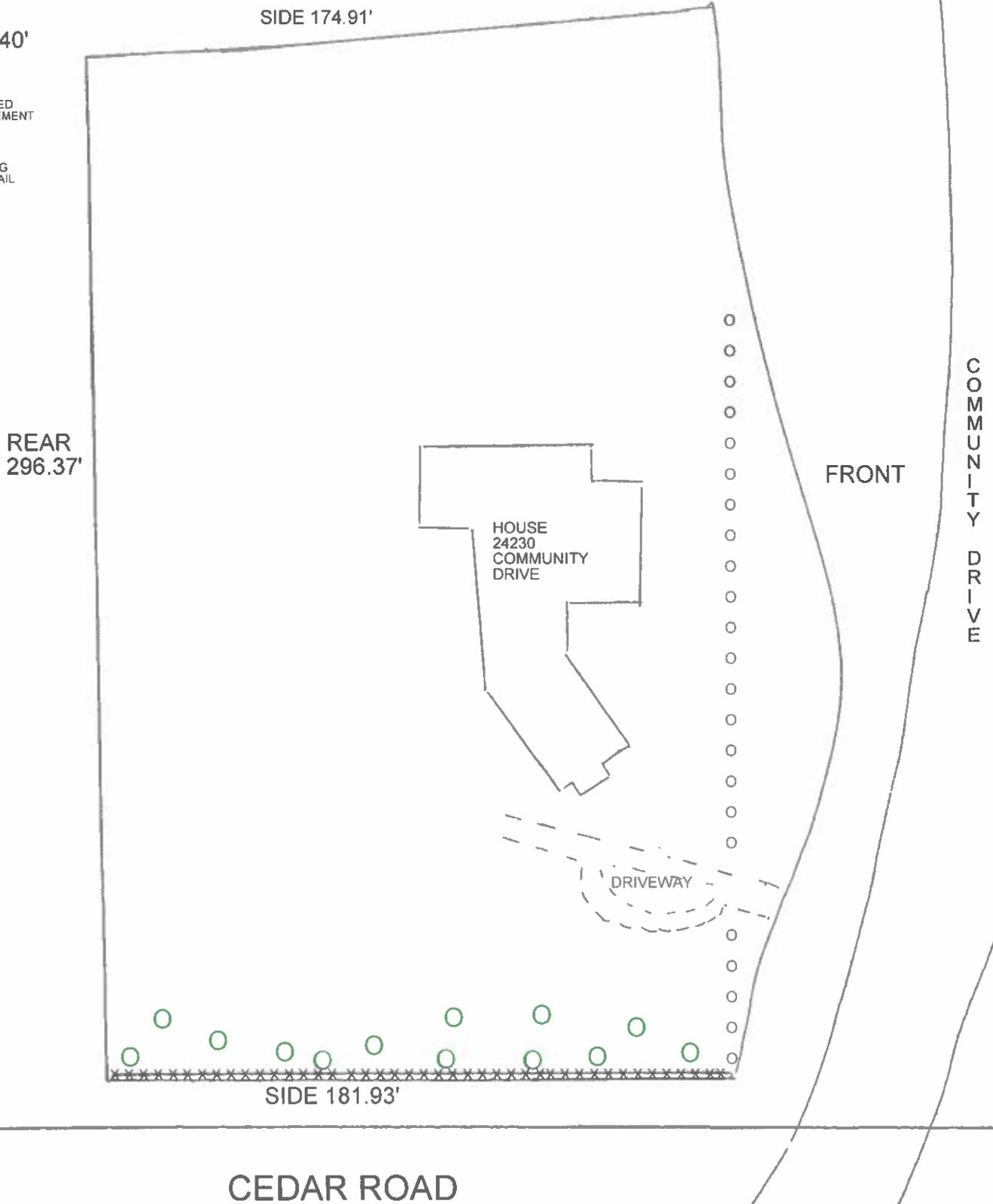








Image capture: Sep 2009 © 2024 Google













P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 9, 2024

RE: **P&Z 2024-14** **Roland Brothers Fence Co.**
Joseph Ireland
24230 Community Drive
Fence Variance

This request is for several variances to permit the replacement of an existing solid privacy fence six (6) feet in height to be placed along the Cedar Road frontage of the subject site. The subject property is zoned U-1 Single Family Residential District. The applicant states that the existing solid wooden fence has been in place for 20 years but is in poor repair and he desires to replace it in kind. The subject site is a corner lot that also has frontage on Community Drive. The fence on the Community Drive frontage is a split rail fence four (4) feet in height.

Code Sections 1146.02(b), 1146.02(d)(4), 1146.02(d)(8), and 1146.02(d)(9) in combination require that fences in front yards be only ornamental in style; that fences in front yards meet certain setback requirements; that fencing on a property be uniform in design, material and color; and that solid fence are prohibited.

In this instance, there are several factors that are either unique to the subject site or that constitute mitigating factors relative to a variance. The fact that a solid wooden fence is existing on the subject site and has been in place for many years is not a generally existing condition that sets this property apart from others. The fact that there are two different fence types has occurred in many locations in the City where neighbors tie fences to the existing fences of the neighbors. Those situations have not adversely impacted neighborhoods. Cedar Road carries extremely high traffic volumes and the desire to buffer the noise is understandable. Finally, the subject site is directly across the street from a substantial commercial operation in Legacy Village. In fact, the subject site is opposite an entrance to the shopping center and is subject to the constant sweep of headlights exiting the center.

P&Z 2024-14
Roland Brothers Fence Co.
Joseph Ireland
24230 Community Drive
Fence Variance
May 9, 2024
Page 2

It is my opinion that there are sufficient unique characteristics to the subject site to set it apart from other properties in the general area and in the same zoning district and that no being able to replace the existing fence in kind and in place would constitute a practical difficulty for the property owner.

There it is recommended that the Commission approve the replacement of the existing fence with a solid wooden fence pursuant to the following:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Sections 1146.02(b) and 1146.02(d) with regard to the location and design of fences in front yards.
2. Granting a variance to Code Sections 1146.02(b) and 1146.02(d) to permit the installation of 181 feet of wooden privacy fence to be placed in the same location as the existing fence which is to be removed.



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Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
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MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 21, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 9

P & Z 2024-14 Milissa Reynolds, Rolen Brothers Fence Co. Inc., is requesting preliminary site plan approval for fence replacement along Cedar Road for property located at 24230 Community Drive.

There are no Engineering Comments on this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-14 24230 Community (Fence)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 3 May 2024

OWNER OF BUILDING: 24700 Highpoint LLC PHONE: 216.464.2140

STREET ADDRESS: 23945 Mercantile Road, Suite N

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Marc Cohen PHONE: 216.464.7494 x.14

COMPANY OR FIRM: North Coast Architects, Inc.

EMAIL: northcoastarchitects@windstream.net

STREET ADDRESS: 23215 Commerce Park Road, Suite 316

CITY/STATE/ZIP: Beachwood, OH 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Marc Cohen

northcoastarchitects@windstream.net

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24700 Highpoint Road SUITE # _____

TENANT NAME: IHI IonBond Inc.

PERMANENT PARCEL # 742 - 24 - 015 PRESENT USE: U-8 PROPOSED USE: U-8

PURPOSE OF APPLICATION: site plan approval for 858 sf. 1 story addition to existing building

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Marc Cohen
Digitally signed by Marc Cohen
 Date: 2024.05.03 08:58:20 -04'00'

 SIGNATURE

Marc H. Cohen

 PRINTED NAME

3 May 2024

 DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
 Date

Final Approval: _____
 Date

Recommendation to Council: YES NO Meeting Date: _____

Primary Owner 24700 HIGHPOINT LLC
Property Address 24700 Highpoint RD Beachwood,OH 44122
Tax Mailing Address 24700 HIGHPOINT LLC 23945 MERCANTILE RD SUITE N. BEACHWOOD, OH 44122
Description 59 HIPTRD S/L 4 WP 0003 ALL 74224016
Property Class MANUFACTURING AND ASSEMBLY LIGHT
Parcel Number 742-24-015
Taxset Beachwood
Tax Year 2023

Assessed Values

Land Value	\$112,880
Building Value	\$210,250
Total Value	<u>\$323,130</u>
Homestead Value	\$

Market Values

Land Value	\$322,500
Building Value	<u>\$600,700</u>
Total Value	<u>\$923,200</u>

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Half Year Charge Amounts

Gross Tax	\$19,664.08
Less 920 Reduction	\$6,986.80
Sub Total	<u>\$12,677.28</u>
10% Reduction Amount	\$.00
Owner Occupancy Credit	\$.00
Homestead Reduction Amount	\$.00
Total Assessments	<u>\$250.14</u>
Half Year Net Taxes	<u>\$12,927.42</u>

Rates

Full Rate	123.26
920 Reduction Rate	.350798
Effective Rate	80.020588

Escrow

Escrow	N
Payment Amount	\$.00

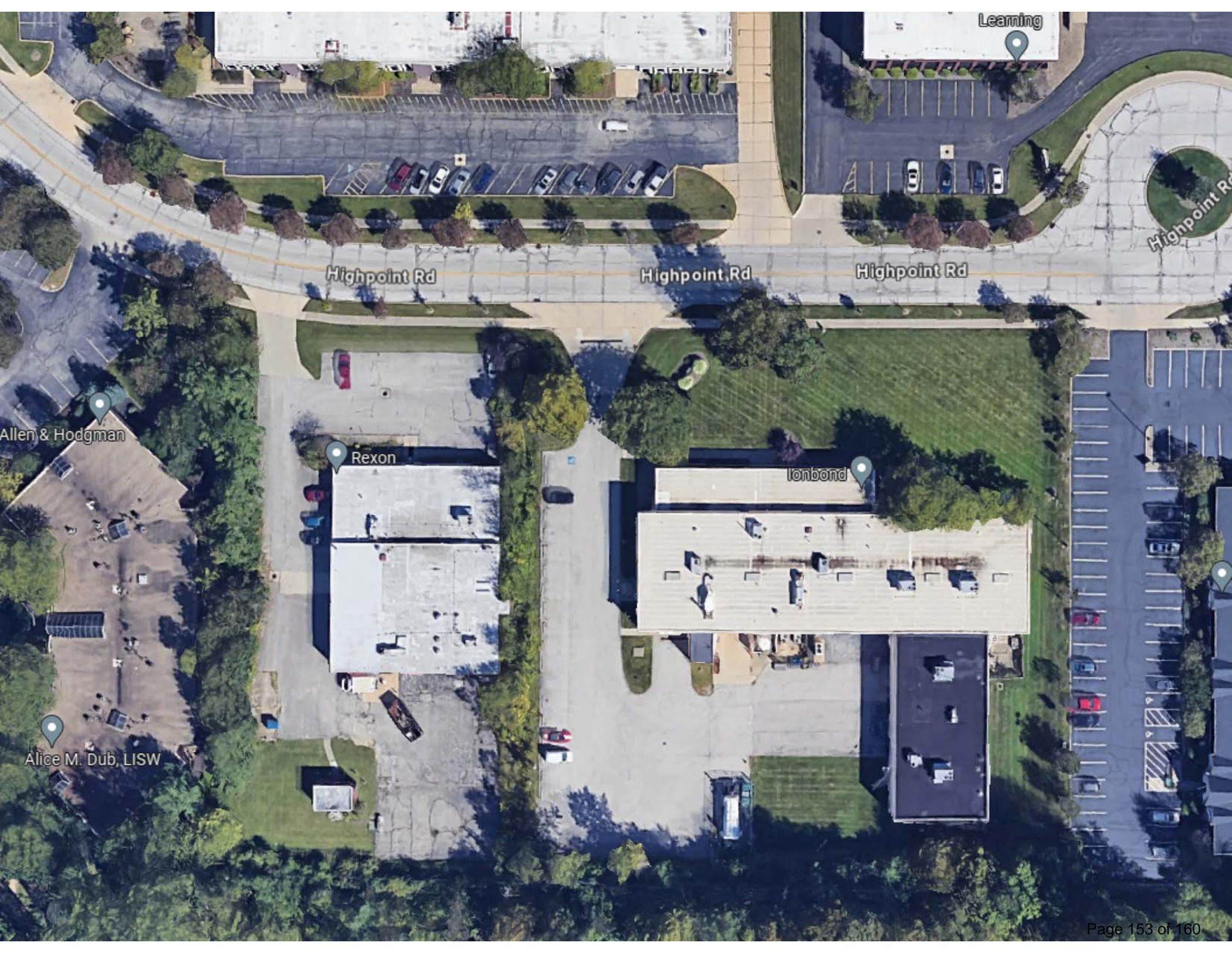
Tax Balance Summary	Charges	Payments	Balance Due
	\$25,854.82	\$25,011.97	\$842.85

2023 (pay in 2024) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$12,677.28	\$12,677.28	\$.00
	1ST HALF BALANCE	\$12,677.28	\$12,677.28	\$.00
	2nd half tax	\$12,677.28	\$12,084.55	\$592.73
	2ND HALF BALANCE	\$12,677.28	\$12,084.55	\$592.73
C100030C-SEWER MAINTENANCE				
	1st half tax - 2023	\$125.07	\$125.07	\$.00
	1ST HALF BALANCE	\$125.07	\$125.07	\$.00
	2nd half tax - 2023	\$125.06	\$.00	\$125.06
	2ND HALF BALANCE	\$125.06	\$.00	\$125.06
C100030S-Sewer Maintenance				
	1st half tax - 2023	\$125.07	\$125.07	\$.00
	1ST HALF BALANCE	\$125.07	\$125.07	\$.00
	2nd half tax - 2023	\$125.06	\$.00	\$125.06
	2ND HALF BALANCE	\$125.06	\$.00	\$125.06

2023 Taxes	Charges	Payments	Balance Due
Tax Balance Summary	\$25,854.82	\$25,011.97	\$842.85

Disclaimer: Information included on this report is believed to be accurate but is not guaranteed. Cuyahoga County is not liable for errors or omissions. Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.



Learning

Highpoint Rd

Highpoint Rd

Highpoint Rd

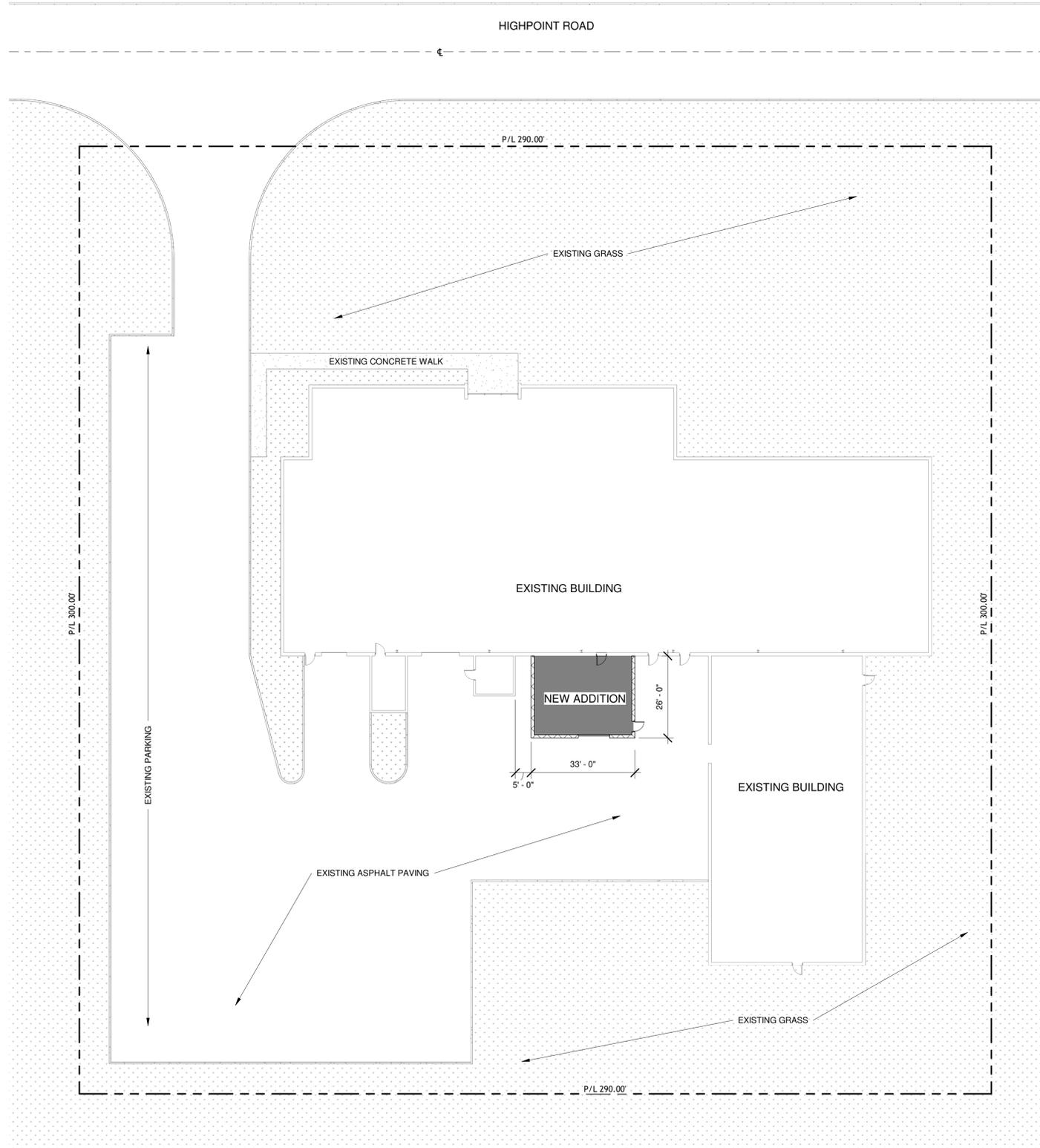
Highpoint Rd

Allen & Hodgman

Rexion

Ionbond

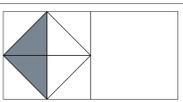
Alice M. Dub, LISW




SITE PLAN
 1
 SP-1
 1" = 20'-0"

APPLICANT: IONBOND

P&Z: ZONING STANDARDS	ZONING DATA		DATE:
	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-8 INDUSTRIAL & OFFICE MIXED USE	U-8 INDUSTRIAL & OFFICE MIXED USE	
MINIMUM LOT AREA	1 ACRE	86,555 S.F., 1.994 ACRE	
MINIMUM LOT FRONTAGE	150'	290' (EXISTING)	
MINIMUM FRONT YARD BUILDING SETBACK	75'	75' (EXISTING)	
MINIMUM SIDE YARD BUILDING SETBACK	50' TOTAL / 10' MIN.	64' + 19'-83' TOTAL (EXISTING)	
MINIMUM REAR YARD BUILDING SETBACK	40'	40'-8" (EXISTING)	
MAXIMUM BUILDING HEIGHT	42'	20' (EXISTING BUILDING) 17'-8" (NEW ADDITION)	
MINIMUM LANDSCAPED AREA	5%	EXISTING	
MINIMUM PARKING SETBACKS	Front = 11' Side = 3' Rear = 3'	Front = 59'-6" (EXISTING) Side = 10' (EXISTING) Rear = 10' (EXISTING)	
MINIMUM DRIVE AISLE	20'	24' (EXISTING)	
MINIMUM PARKING STALL	9' x 20', 180 S.F.	10' x 20', 200 S.F. (EXISTING)	
MINIMUM OFF-STREET PARKING	1/400 S.F.	20 (EXISTING)	
SITE DEVELOPMENT PLANS			

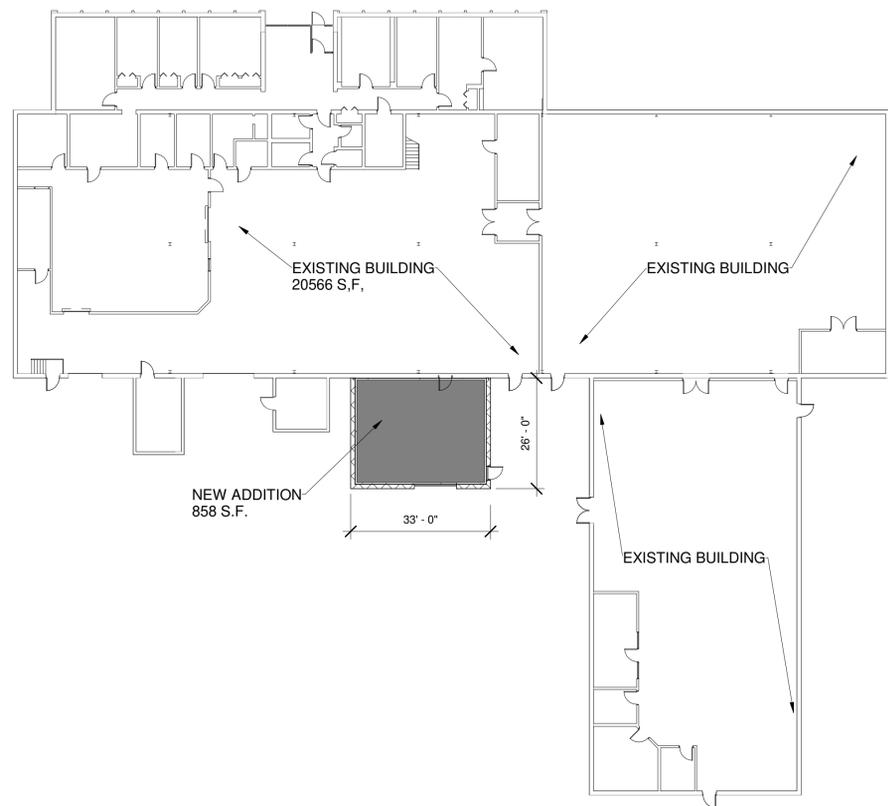


**NORTH
COAST
ARCHITECTS, INC.**

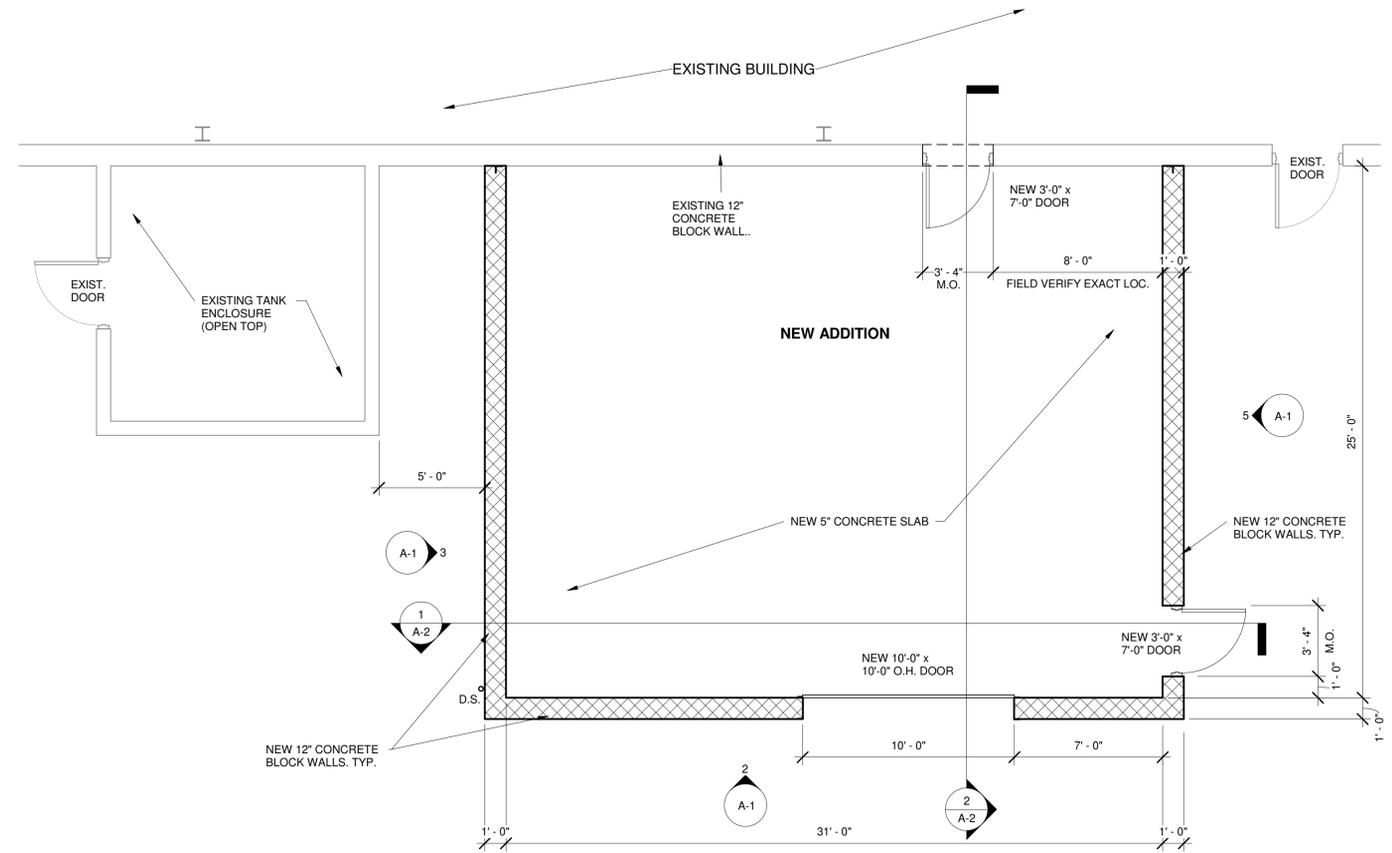
23215 COMMERCE PARK ROAD
 SUITE 316
 BEACHWOOD, OHIO 44122
 PHONE: 216-464-7494

PROPOSED ADDITION FOR:
IONBOND
 24700 HIGHPOINT ROAD
 BEACHWOOD, OHIO 44122
SITE PLAN
 2404

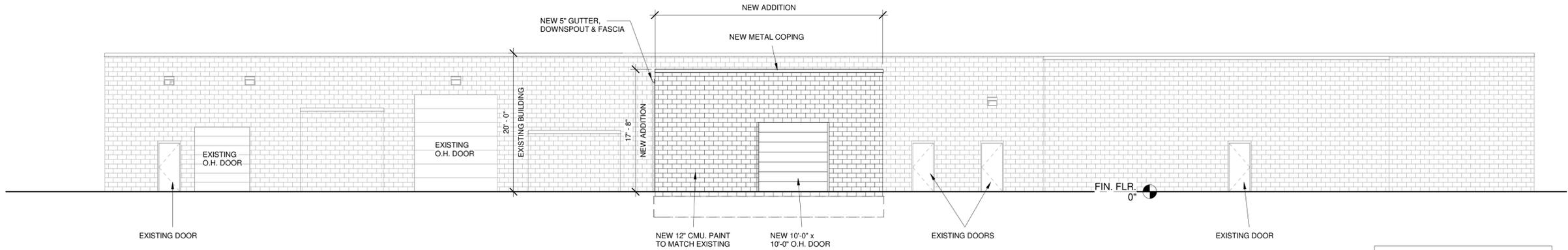
DATE: 05/03/2024
 ISSUE: PC MEETING
SP-1



4
A-1
OVERALL BUILDING PLAN
1" = 20'-0"

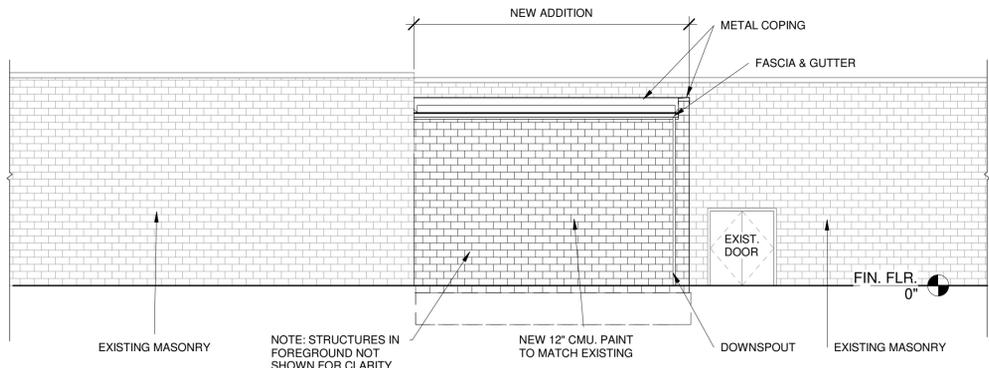


1
A-1
FLOOR PLAN
1/4" = 1'-0"

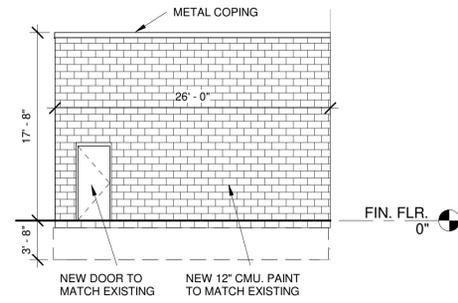


2
A-1
SOUTH ELEVATION
1/8" = 1'-0"

NOTE:
ALL NEW MATERIALS &
COLORS TO MATCH EXISTING.



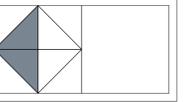
3
A-1
WEST ELEVATION
1/8" = 1'-0"



5
A-1
EAST ELEVATION
1/8" = 1'-0"

23215 COMMERCE PARK ROAD
SUITE 316
BEACHWOOD, OHIO 44122

**NORTH
COAST
ARCHITECTS, INC.**



PROPOSED ADDITION FOR:
IONBOND
24700 HIGHPOINT ROAD
BEACHWOOD, OHIO 44122

2404
FLOOR PLAN & ELEVATIONS

DATE: 05/03/2024
ISSUE: PC MEETING

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 8, 2024

RE: **P&Z 2024-16 North Coast Architects, Inc.
24700 Highpoint, LLC
24700 Highpoint Road
Site Development Plan Approval**

This request is for site development plan approval for an 858 square feet one-story addition to the existing building. The subject site is in the U-8 Industrial and Office Mixed-Use District. The applicant proposes to construct the addition on the rear of the existing building between an existing overhead door and a man door. Because the addition is in the interior of the L-shaped building, there is no impact on building setbacks. The 858 square feet addition will bring the total building area to 18,800 square feet and the building ground coverage to approximately 22%, which is well within the Code permitted 40%. The area of the proposed addition is already paved so there should be minimal impact with regard to storm runoff. The site plan provides for 20 existing parking spaces.

Based on a total building area of 18,800 square feet, the applicant is required to provide 47 parking spaces. In August of 2001, a variance was granted for the property permitting the land banking of 23 parking spaces, which would bring the provided parking to 43 spaces. Given the history of the site, it appears unlikely that the property will ever need the additional four (4) spaces.

It is recommended that the Commission recommend to City Council final site development plan approval subject to the following stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1144.07(a) with regard to the number of required parking spaces.
2. Granting a variance of four (4) spaces to Section 1144.07(a) to permit the total number of required parking spaces to be 43 in lieu of the required 47 spaces.
3. Compliance with the comments of the City Engineer.



GPD GROUP[®]
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545

www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 30, 2024

Report Date: May 21, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 10

P & Z 2024-16 **Marc Cohen, North Coast Architects, is requesting preliminary and final site plan approval for a one story addition to the existing building at 24700 Highpoint Road, IHI IonBond Inc.**

We hereby recommend approval of this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-16 24700 Highpoint- Ion Bond

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

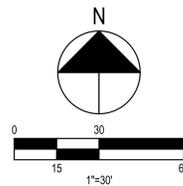
1. All current life safety systems in structure must continue in addition.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

LOT CONSOLIDATION PLAT

SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, AND STATE OF OHIO
 AND KNOWN AS BEING PART OF RESIDUE BLOCK "E" IN A REALLOTMENT OF PART OF THE VAN SWERINGEN COMPANY'S SHAKER COUNTY ESTATES NO. 33 PART OF ORIGINAL WARRENSVILLE
 TOWNSHIP LOT 30 AS RECORDED IN VOLUME 139, PAGE 7 OF CUYAHOGA COUNTY MAP RECORDS AND OTHER LANDS IN ORIGINAL WARRENSVILLE TOWNSHIP LOT NUMBER 30



BASIS OF BEARING:
 STATE PLANE GRID NORTH, NAD 83 (2011),
 OH NORTH ZONE
 ESTABLISHED VIA GPS OBSERVATION

APPROVALS:

THIS PLAT IS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF BEACHWOOD, OHIO BY RESOLUTION ADOPTED THIS _____ DAY OF _____, 2024.

CHAIRMAN _____

SECRETARY _____

THIS PLAT IS APPROVED BY THE MAYOR OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 2024.

MAYOR _____

THIS PLAT IS APPROVED BY THE CITY COUNCIL OF THE CITY OF BEACHWOOD, OHIO, FOR RECORD PURPOSES ONLY THIS _____ DAY OF _____, 2024.

CLERK OF COUNCIL _____

OWNER'S ACCEPTANCE:

I, _____ OWNER OF THE PROPERTY SHOWN HEREON, DO HEREBY ASSENT TO AND ADOPT THIS CONSOLIDATION PLAT OF THE SAME AND ACKNOWLEDGE THAT THE SAME WAS MADE AT MY REQUEST INDIVIDUALLY AND IN THE CAPACITY INDICATED HEREON.

SIGNATURE _____ DATE _____

NAME _____

TITLE _____

STATE OF OHIO)
)SS.:
 COUNTY OF CUYAHOGA)

EXECUTED AND ACKNOWLEDGED BEFORE ME BY _____ THIS _____ DAY OF _____, 2024.

MY COMMISSION EXPIRES: _____

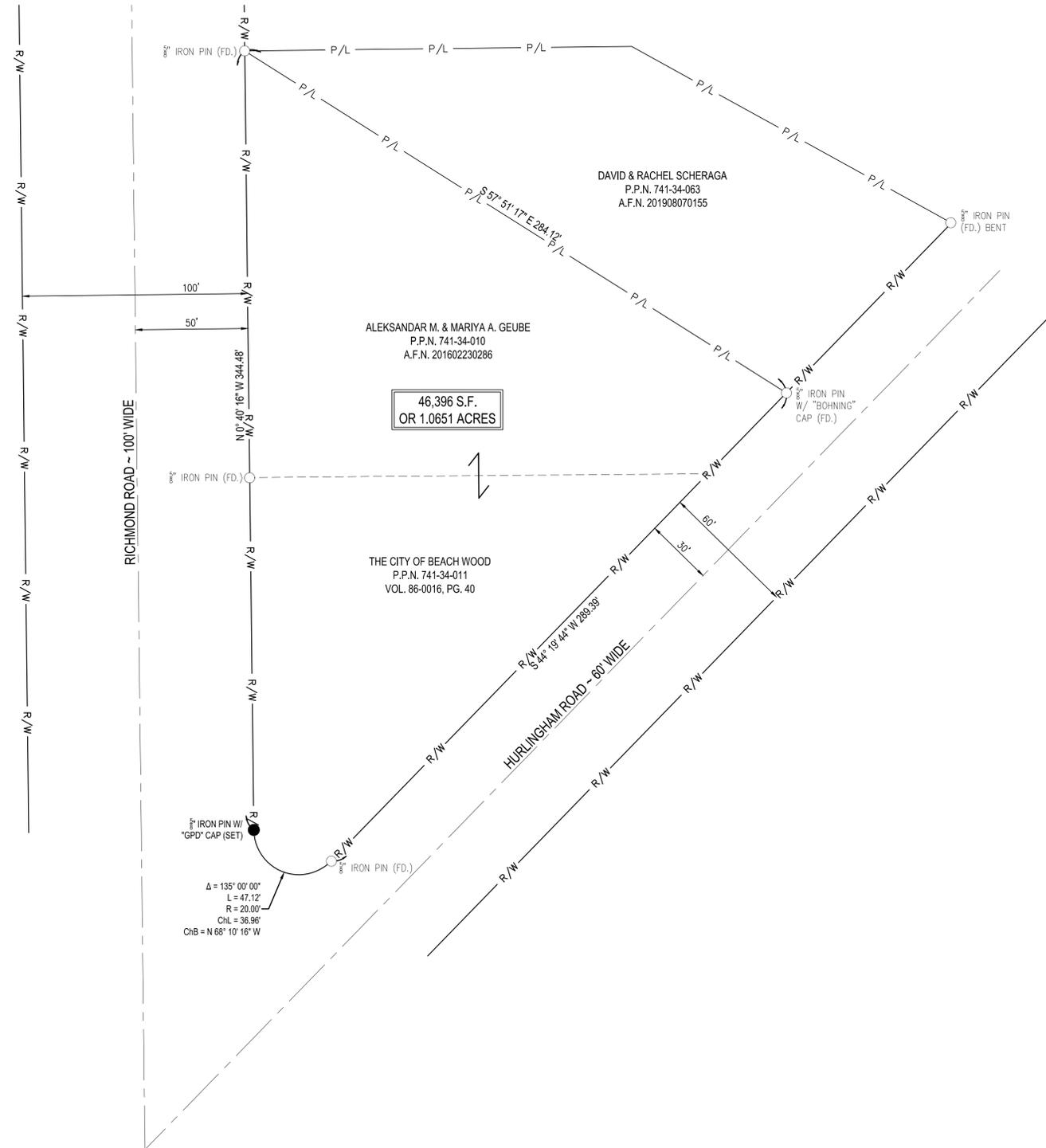
NOTARY PUBLIC _____

LEGEND:

- PARCEL BOUNDARY ——— P/L ——— P/L
- REMOVED PARCEL BOUNDARY - - - - -
- PUBLIC RIGHT OF WAY ——— R/W ——— R/W
- CENTERLINE ———
- IRON PIN FOUND AS NOTED ○
- IRON PIN SET AS NOTED ●

PLAT INTENTION:

THE INTENT OF THIS PLAT IS TO CONSOLIDATE PPN 741-34-010 AND PPN 741-34-011.



REV.	DATE	DESCRIPTION

CITY OF BEACHWOOD
 25325 FAIRMOUNT BOULEVARD
 BEACHWOOD, OH 44122

LOT CONSOLIDATION PLAT

ISSUED FOR:
PERMIT
BID
CONSTRUCTION
RECORD

PROJECT MANAGER	DESIGNER
ARP	SMF

JOB NO.
 2023119.07

SV-101

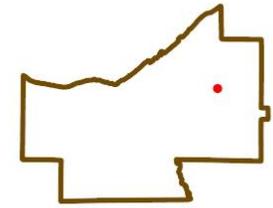
SURVEYOR'S CERTIFICATION AND CITY ENGINEER'S APPROVAL

THIS PLAT WAS PREPARED AND RECOMMENDED BY THE ENGINEER OF THE CITY OF BEACHWOOD, OHIO. I HEREBY DECLARE THIS TO BE A TRUE DELINEATION OF A CORRECT FIELD SURVEY PREPARED UNDER MY SUPERVISION. MONUMENTS WERE FOUND OR SET AS SHOWN HEREON. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.

JOSEPH R. CIUNI _____ DATE _____
 REGISTERED SURVEYOR/CITY ENGINEER



Cuyahoga County GIS Viewer



Date Created: 5/16/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

112 0 56 112 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 05/20/2024
Re: P&Z # 2024-18 24230 Lot consolidation

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief