



Beachwood Planning and Zoning Commission Meeting Agenda
Thursday, September 26, 2024, 6:30 PM
at Beachwood City Hall, Council Chambers,
25325 Fairmount Boulevard, Beachwood, Ohio 44122

Agenda Items

1. Roll Call
2. Approval of Minutes of the August 29, 2024, Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission
2024-20 Carmen Amicone, Amicone Building & Construction, on behalf of Kanhaiya Poddar, property owner, is requesting a 3'-5" rear yard setback variance for an addition at 2609 Edgewood Road, in accordance with BCO Section 1113.04, Location of Building Line.
6. Planning and Zoning Commission
2024-30 Jim McFarland, Zoning Resources, is requesting approval for an area variance for a wall sign to be located at 24601 Chagrin Blvd., Giant Eagle.
7. Planning and Zoning Commission
2024-31 Zachary Katz, property owner, is requesting a 3'-5" front yard setback variance for a garage addition at 23203 Beachwood Blvd., in accordance with BCO Section 1113.04, Location of Building Line.
8. Planning and Zoning Commission
2024-32 James and Linda Ross, property owners, are requesting a 2' side yard setback variance for a northern addition at 2638 Deborah Drive, in accordance with BCO Section 1113.05, Side Yards.
9. Planning and Zoning Commission
2024-34 Daniel Gomillion, Burning River Builders, on behalf of Banafsheh K. Adler, Trustee, property owner, is requesting preliminary and final approval of a lot split for PPN 741-35-005, 26930 Hurlingham Road.
10. Planning and Zoning Commission
2024-35 Seth Harrison, on behalf of Jacqueline Harrison, property owner, is requesting a 336.5' hardscape variance for concrete at 21819 Halworth Road, in accordance with BCO Section 1146.03(C), Landscaping of Residential Lots Required.
11. Planning and Zoning Commission
2024-27 Ordinance No. 2024-63, Rezoning 2555 Edgewood Road, Beachwood, Ohio 44122 (PPN 741-08-036) and 2561 Edgewood Road, Beachwood, OH 44122 (PPN 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District (Referred from Council 8/20/2024).
12. Planning and Zoning Commission
2024-33 An Ordinance amending Section 1111.03 titled, "Prohibited Uses", of the City of Beachwood, Ohio Planning and Zoning Code.
13. Planning and Zoning Commission Presentation of the Rules of Procedure for Beachwood Planning and Zoning Commission.

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 04/23/2024

OWNER OF BUILDING: Kanhaiya Poddar PHONE: 216.647.2931

STREET ADDRESS: 2609 Edgewood Rd

CITY/STATE/ZIP: Beachwood, Ohio 44122

APPLICANT: Carmen Amicone PHONE: 440.804.5572

COMPANY OR FIRM: Amicone Building & Construction

EMAIL: Info@amiconebc.com

STREET ADDRESS: 7481 Chagrin Rd.

CITY/STATE/ZIP: Chagrin Falls, Ohio 44023

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Carmen Amicone - Info@amiconebc.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 2609 Edgewood Rd SUITE #

TENANT NAME: Kanhaiya Poddar

PERMANENT PARCEL # 741 -07 -031 PRESENT USE: Primary PROPOSED USE: Primary Res

PURPOSE OF APPLICATION: Extension of existing home.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

Extension of existing residents. Changing footprint of current structure.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

have been paid on a current basis.

- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

[Handwritten Signature]

SIGNATURE

Carmen Amicone

PRINTED NAME

June 4th, 2024

DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: _____ RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
Brian Roenigk, Building Commissioner
Phone (216) 292-1914 • Fax (216) 292-1917



Cuyahoga County GIS Viewer



Date Created: 5/17/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

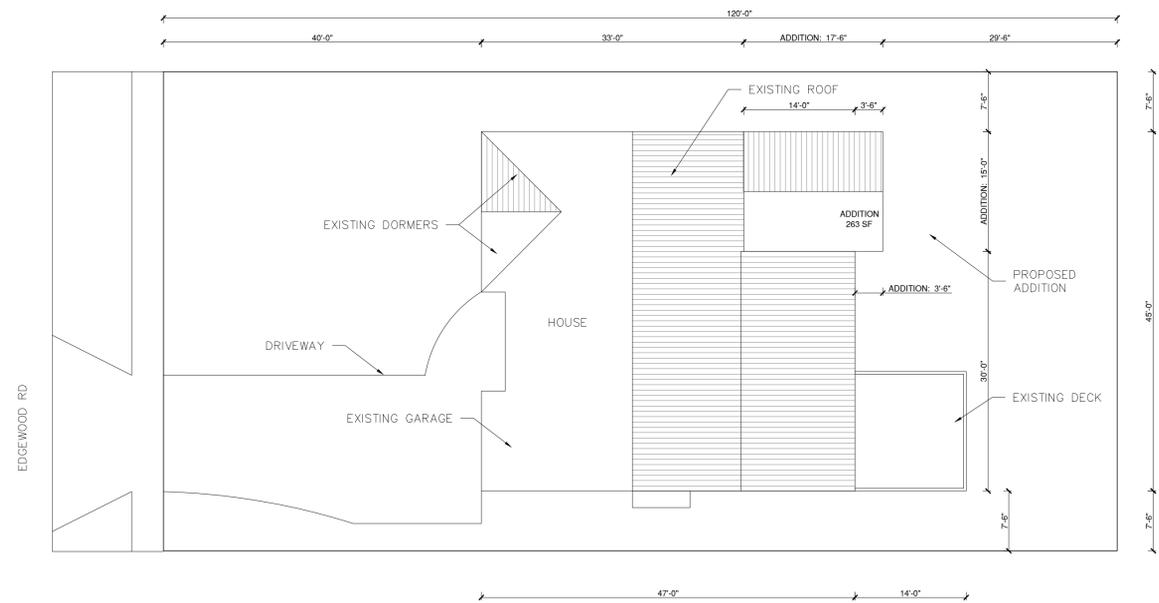
1: 670

112 0 56 112 Feet

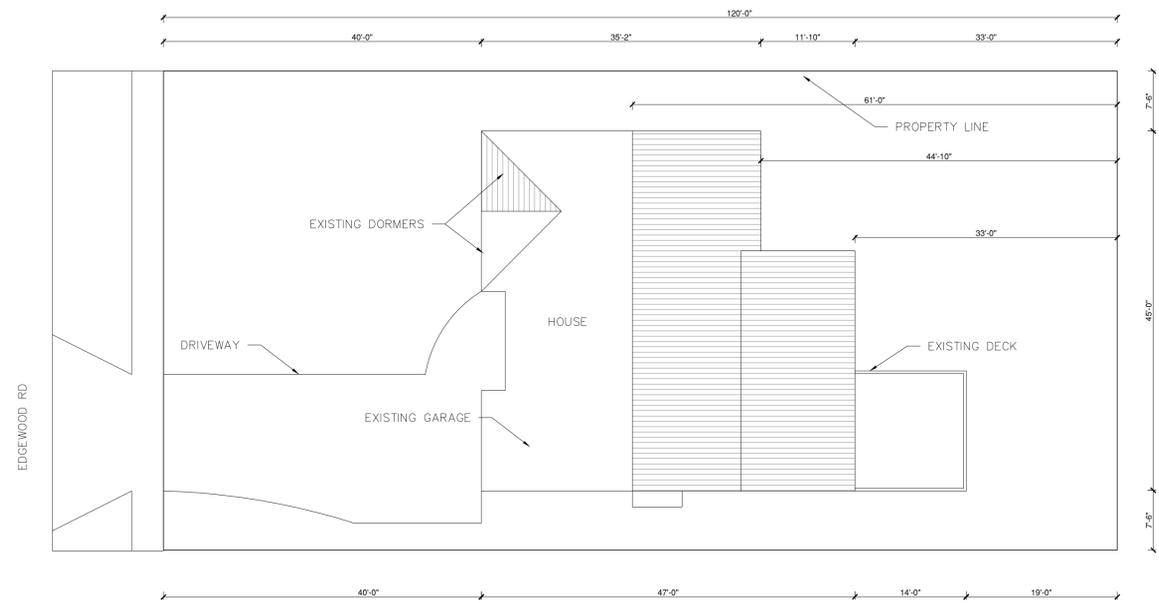
Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

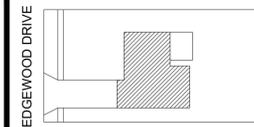
THIS MAP IS NOT TO BE USED FOR NAVIGATION



2 SITE PLAN W/ PROPOSED ADDITION
SCALE: 1/8" = 1' - 0"



1 EXISTING SITE PLAN
SCALE: 1/8" = 1' - 0"



2609 EDGEWOOD DRIVE
BEECHWOOD, OHIO 44122



Amicone Building & Construcion
10237 Taylor May Road
Chagrin Falls, OH 44023

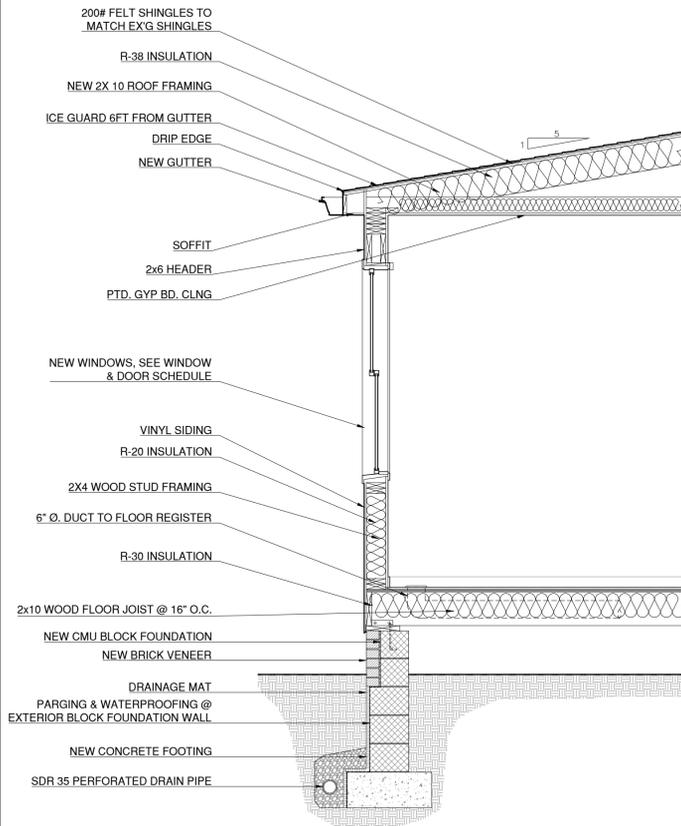
2609 Edgewood Dr Addition
Beechwod, Ohio 44122

Drawing Title:
SITE PLAN

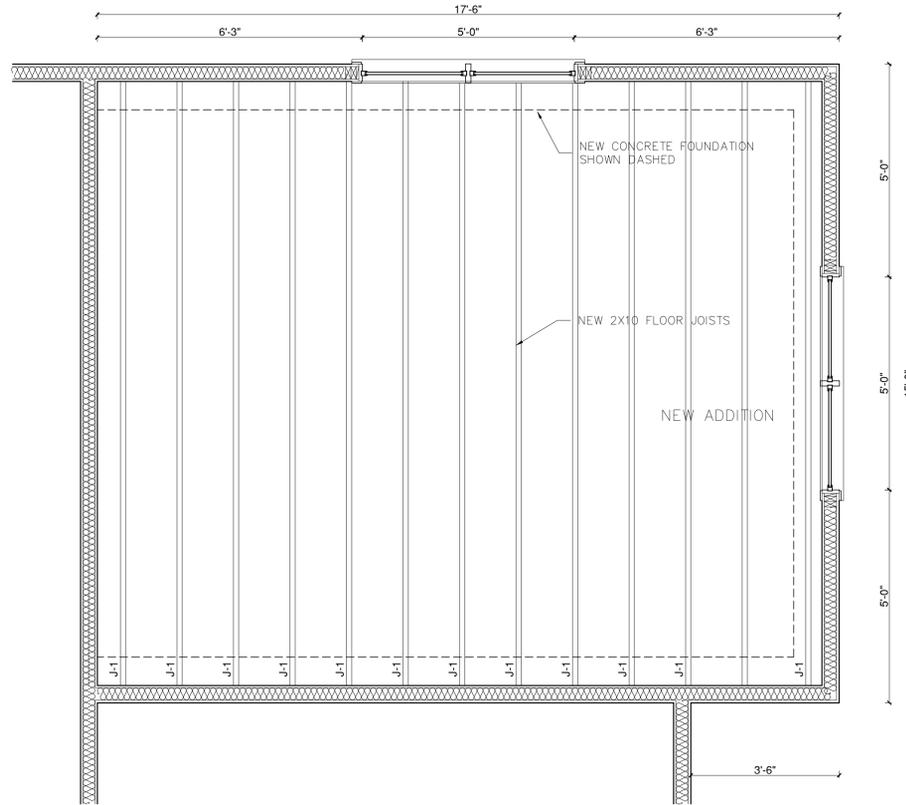
DATE: 5/15/2024
PROJECT#: 2609 EDGEWOOD DR
DRAWING SCALE: 1/4" = 1'-0"
DRAWING NO:

A-100

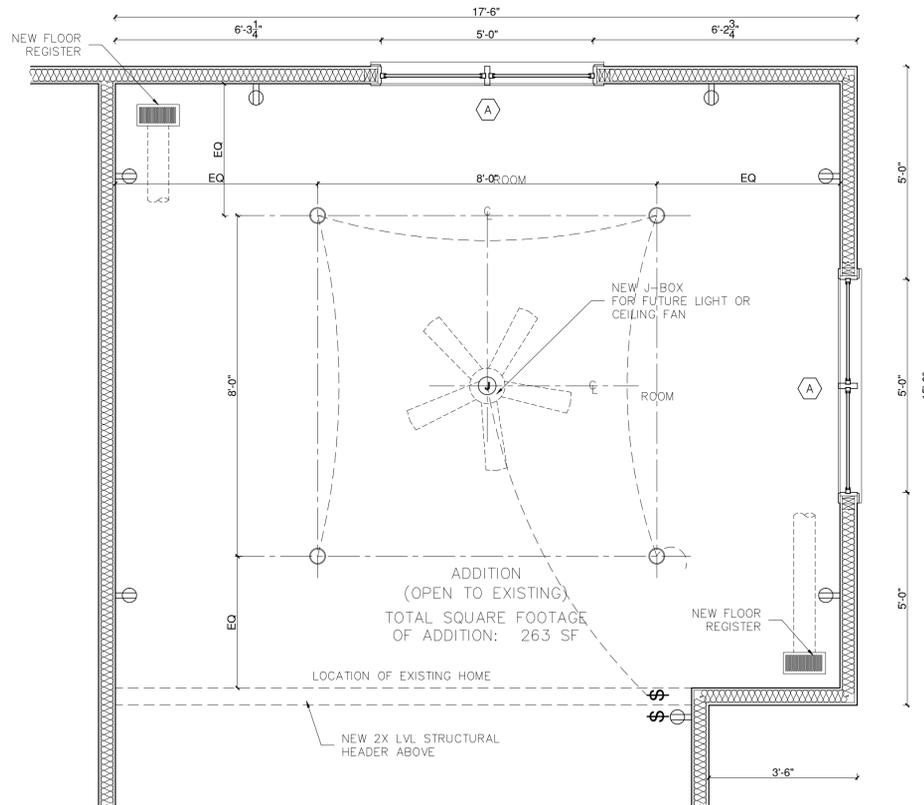
CAD REF:



3 ADDITION TYPICAL SECTION
SCALE: 1/2" = 1' - 0"



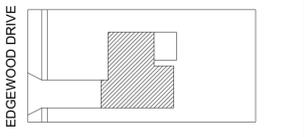
2 ADDITION FRAMING PLAN
SCALE: 1/2" = 1' - 0"



1 ADDITION FLOOR PLAN
SCALE: 1/2" = 1' - 0"

- LEGEND
- ⊕ CONVENIENCE OUTLET DUPLEX
 - ⊕ WP WEATHERROOD DUPLEX
 - ⊕ WALL SWITCH SINGLE POLE
 - RECESSED FIXED DOWNLIGHT

DOOR & WINDOW SCHEDULE				
TYPE	QUANTITY	SIZE	MATERIAL	NOTES
A	2	5'-0" x 4'-0"	STAIN GRD. WOOD	CASEMENT WINDOWS



2609 EDGEWOOD DRIVE
BEECHWOOD, OHIO 44122



Amicone Building & Construcion
10237 Taylor May Road
Chagrin Falls, OH 44023

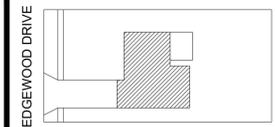
2609 Edgewood Dr Addition
Beechwod, Ohio 44122

Drawing Title:
ENLARGED FLOOR PLAN

DATE: 5/15/2024
PROJECT#: 2609 EDGEWOOD DR
DRAWING SCALE: 1/4" = 1'-0"
DRAWING NO:

A-101

CAD REF:



2609 EDGEWOOD DRIVE
BEECHWOOD, OHIO 44122



Amicone Building & Construcion
10237 Taylor May Road
Chagrin Falls, OH 44023

2609 Edgewood Dr Addition
Beechwod, Ohio 44122

Drawing Title:
EXTERIOR ELEVATIONS

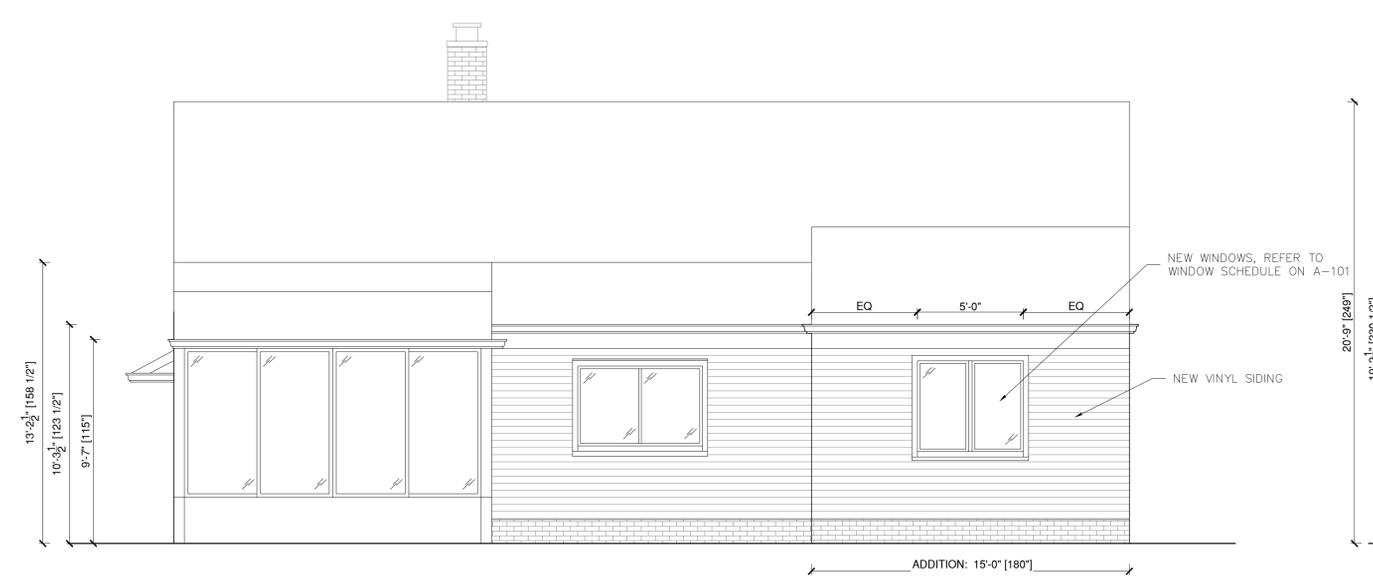
DATE: 5/15/2024
PROJECT#: 2609 EDGEWOOD DR
DRAWING SCALE: 1/4" = 1'-0"
DRAWING NO:

A-200

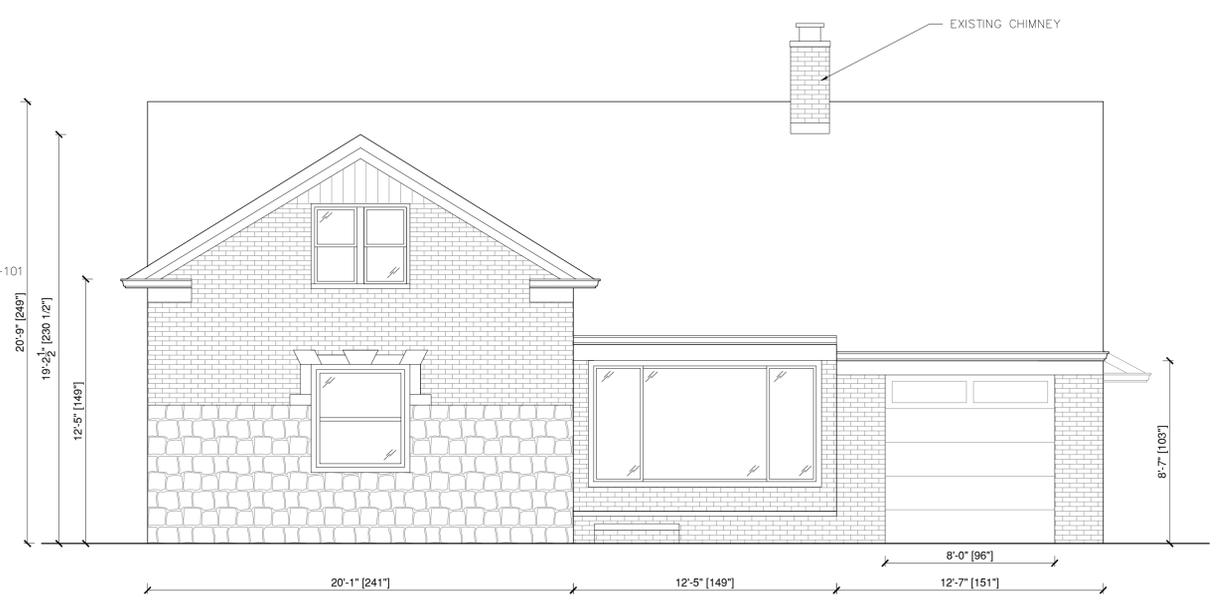
CAD REF:



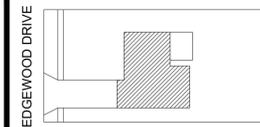
3 EXTERIOR ELEVATION
SCALE: 1/4" = 1' - 0"



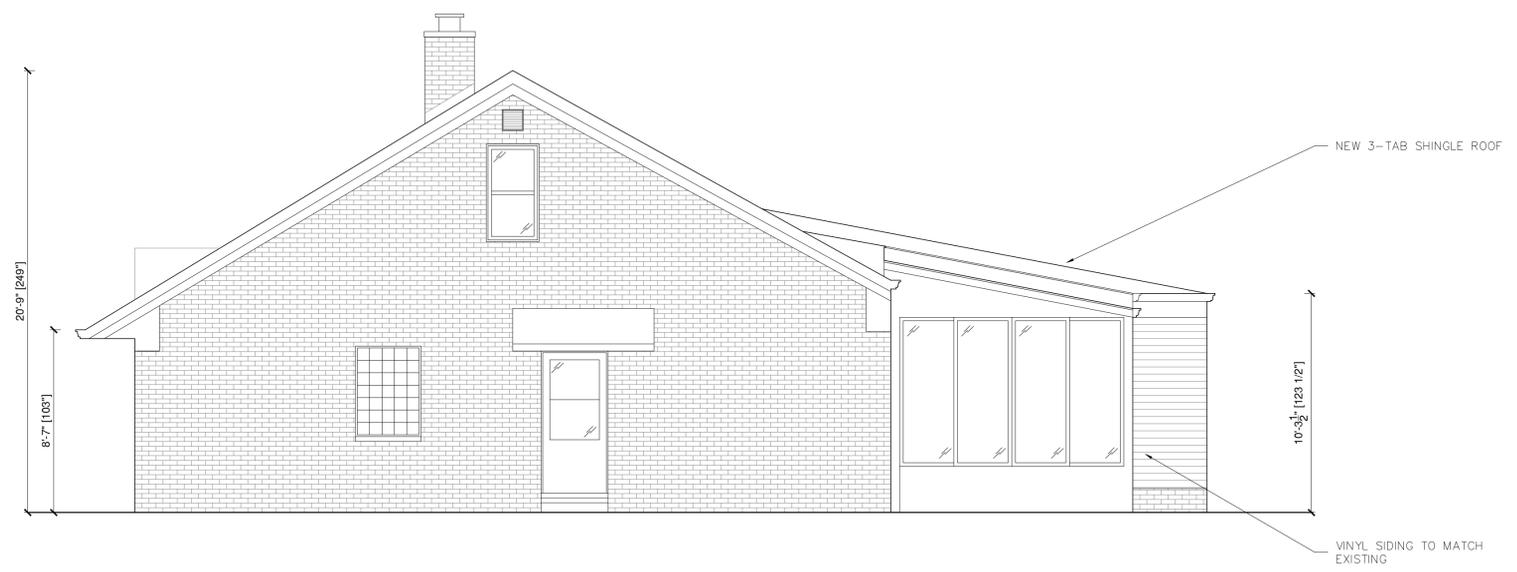
2 EXTERIOR ELEVATION
SCALE: 1/4" = 1' - 0"



1 EXTERIOR ELEVATION
SCALE: 1/4" = 1' - 0"



2609 EDGEWOOD DRIVE
BEECHWOOD, OHIO 44122



1 EXTERIOR ELEVATION | OPTION 1
SCALE: 1/4" = 1' - 0"

Amicone Building & Construcion
10237 Taylor May Road
Chagrin Falls, OH 44023

2609 Edgewood Dr Addition
Beechwod, Ohio 44122

Drawing Title:
EXTERIOR ELEVATIONS

DATE: 5/15/2024
PROJECT#: 2609 EDGEWOOD DR
DRAWING SCALE: 1/4" = 1'-0"
DRAWING NO:

A-201

CAD REF:

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 16, 2024

RE: **P&Z 2024-20 Amicone Building & Construction
Kanhaiya Poddar
2609 Edgewood Road
Rear Setback Variance**

This request is for site development plan approval for a rear addition which requires a setback variance. The property is zoned U-1 Single Family Residential District. This request was before the Commission in June and was tabled to permit the applicant to revise their plan to reduce the amount of the requested variance.

The applicant is now proposing to construct a rear addition of 263 square feet rather than the 420 square feet originally requested. Section 1113.03 requires a minimum rear yard setback equal to 30% of the lot depth. In this instance that would be 36 feet. The existing dwelling currently has a rear setback of 33 feet, or 3 feet less than the code requirement. The applicant is seeking to go to 29.5 feet, which would be a variance of 6.5 feet, but an actual change in rear setback of only 3.5 feet. That modification in rear setback is relatively modest and is consistent with the direction of the Commission at the last meeting. Given the current configuration of the lot and house, the requested variance is probably the minimum necessary to provide additional space.

The Commission has final authority to either grant or deny this variance request. Should the Commission decide to grant the variance, it should be subject to the following findings and stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.03 with regard to rear yard setbacks.
2. Granting a variance of 6.5 feet to Section 1113.03 permit a rear yard setback of 29.5 feet in lieu of the Code required 36 feet.



Cleveland Office
5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 5

P & Z 2024-20 Carmen Amicone, Amicone Building & Construction, on behalf of Kanhaiya Podder, property owner, is requesting preliminary and final site plan approval for a rear addition at 2609 Edgewood.

We hereby recommend approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/17/2024
Re: P&Z # 2024-20 2609 Edgewood Rd. (Addition)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 8/20/2024

OWNER OF BUILDING: BMA Beachwood LLC PHONE: _____

STREET ADDRESS: 301 N Broadway, Ste 300

CITY/STATE/ZIP: Milwaukee, WI 53202

APPLICANT: Zack Cowan PHONE: 3308319225

COMPANY OR FIRM: Zoning Resources

EMAIL: zack@zoningresources.com

STREET ADDRESS: 840 Gaylord Grove Rd.

CITY/STATE/ZIP: Cuyahoga Falls, OH 44221

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Jim McFarland (Zoning Resources); jmcfarland@zoningresources.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24601 Chagrin Blvd., Beechwood, OH SUITE # _____

TENANT NAME: Giant Eagle

PERMANENT PARCEL # 742 - 160 - 49 PRESENT USE: Retail PROPOSED USE: Retail

PURPOSE OF APPLICATION: Wall sign area variance. Exceeding allowable area by .
approximately 111 s.f.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

Exceeding allowable wall sign area for replacement wall signs due to existing sign area.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. Sign approved by Arch. Board of Design on 8-5-24

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

SIGNATURE

Zack Cowan
PRINTED NAME

8/20/2024
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____ Date _____ Final Approval: _____ Date _____

Recommendation to Council: YES NO Meeting Date: _____

APPLICANT: Zack Cowan

P&Z:	ZONING DATA		DATE: 8/20	2024
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE	
ZONING DISTRICT	U-5	N/A	N/A	
MINIMUM LOT AREA	3 acres	N/A	N/A	
MINIMUM LOT FRONTAGE	250ft	N/A	N/A	
MINIMUM FRONT YARD BUILDING SETBACK	75ft	N/A	N/A	
MINIMUM SIDE YARD BUILDING SETBACK	50ft	N/A	N/A	
MINIMUM REAR YARD BUILDING SETBACK	50ft	N/A	N/A	
MAXIMUM BUILDING HEIGHT	40ft or two stories	N/A	N/A	
MINIMUM LANDSCAPED AREA	N/A	N/A	N/A	
MINIMUM PARKING SETBACKS	Front = Side = Rear =	Front = Side = Rear =		
MINIMUM DRIVE AISLE	N/A	N/A	N/A	
MINIMUM PARKING STALL	9'x20'	N/A	N/A	
MINIMUM OFF-STREET PARKING	1 per 200 s.f.	N/A	N/A	
SITE DEVELOPMENT PLANS	N/A	N/A	N/A	



These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Image Elements. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Image Elements.



Giant-Eagle
24501 Chagrin Blvd
Beachwood, OH 44122

STORE #
5830

REV	DATE	DESCRIPTION
0	03/01/23	INITIAL RELEASE
1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

OTHER SIGNAGE

Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



SCOPE OF WORK

1. Remove existing panels.
2. Install new panels.
3. INTERNAL LIGHTING NOT IN SCOPE.

NOTE: SUBJECT TO CHANGE DURING ENGINEER REVIEW.



PROPOSED SIGNAGE



EXISTING SIGNAGE

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Giant-Eagle
24501 Chagrin Blvd
Beachwood, OH 44122

STORE #
5830

Issue Date: 03/01/23		
Drawn By: EBD		
REV	DATE	DESCRIPTION
0	03/01/23	INITIAL RELEASE
1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

S1 - EXISTING / PROPOSED

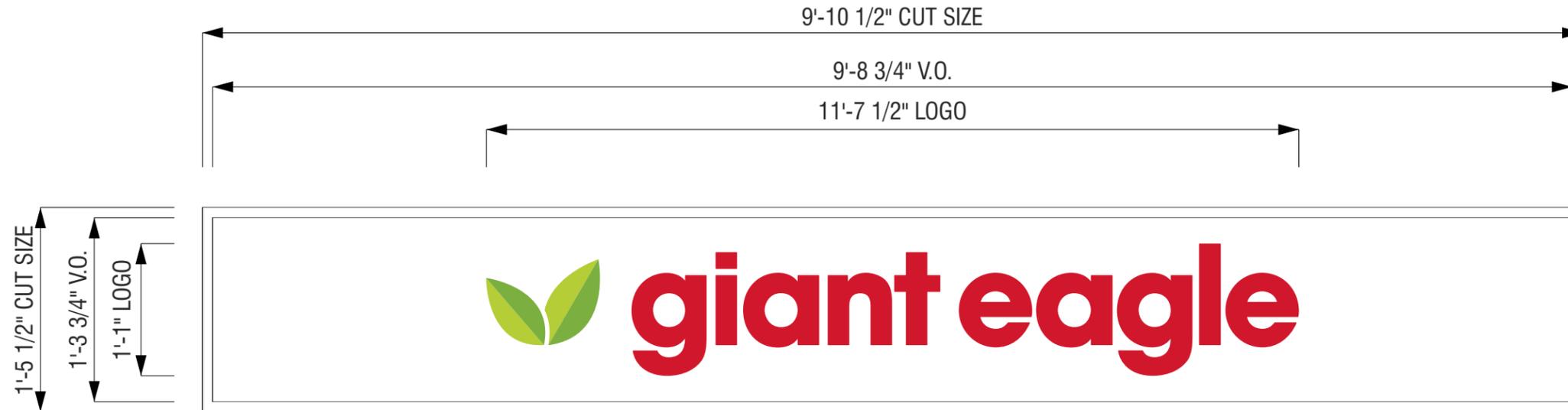
Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



BLAIR ITEM #

**GNEKA00960-PP:
17 1/2" X 9'-10 1/2"**



FRONT ELEVATION

SCALE: 1/2" = 1'-0"

GENERAL SPECIFICATIONS:

14.4 sq. ft.

- **FACE: FLAT FACES (POLYCARBONATE)**
- **"BACKGROUND" : WHITE VINYL W/ RED COPY**
(giant eagle) **DIGITALLY PRINTED GRAPHIC**

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Giant-Eagle
24501 Chagrin Blvd
Beachwood, OH 44122

STORE #
5830

Issue Date: 03/01/23		
Drawn By: EBD		
REV	DATE	DESCRIPTION
0	03/01/23	INITIAL RELEASE
1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

S1 - DETAILS

Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



SCOPE OF WORK

1. Remove existing Giant Eagle channel letters.
2. Install new Giant Eagle channel letters.
3. REPAIR WORK WILL NEED EVALUATED AFTER REMOVAL. REPAIRS MAY BE NEEDED AFTER LETTER REMOVAL. RUST MAY BE PRESENT.
4. UTILIZE EXISTING PRIMARY POWER BEHIND WALL.



PROPOSED SIGNAGE



EXISTING SIGNAGE

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Giant-Eagle
24501 Chagrin Blvd
Beachwood, OH 44122

STORE #
5830

Issue Date: 03/01/23		
Drawn By: EBD		
REV	DATE	DESCRIPTION
0	03/01/23	INITIAL RELEASE
1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

S2 - EXISTING / PROPOSED

Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

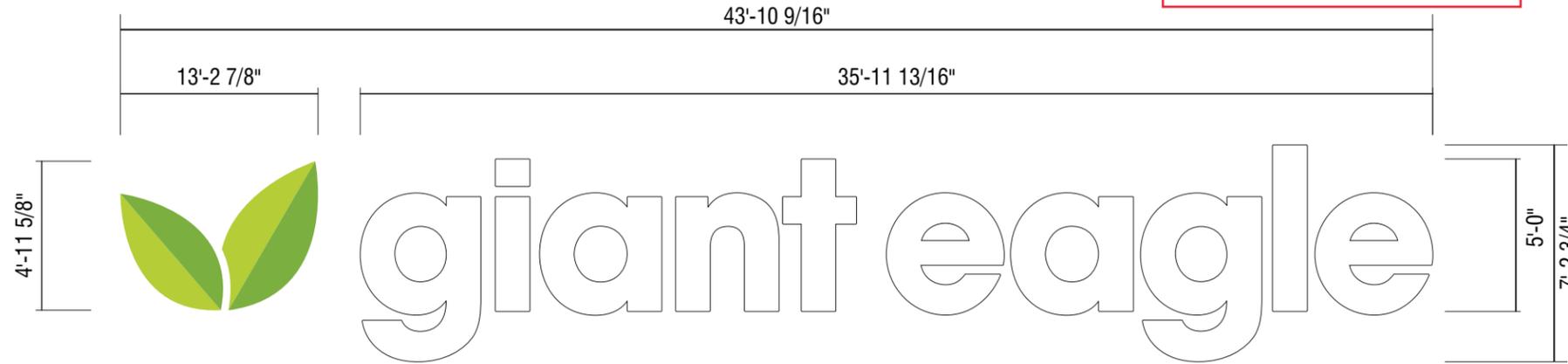
Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



BLAIR ITEM #

GNELA00590A

**GNELA01800-P:
WHITE LETTERS**



FRONT ELEVATION

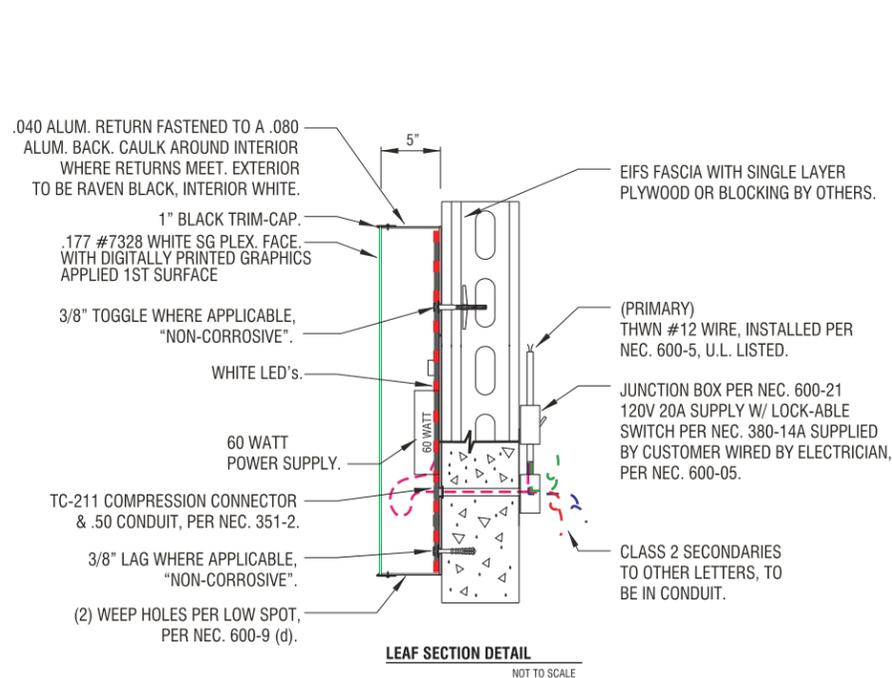
SCALE: 3/16" = 1'-0"

*REGISTERED "R" IS NOT INCLUDED WITH THE BUILDING LOGO

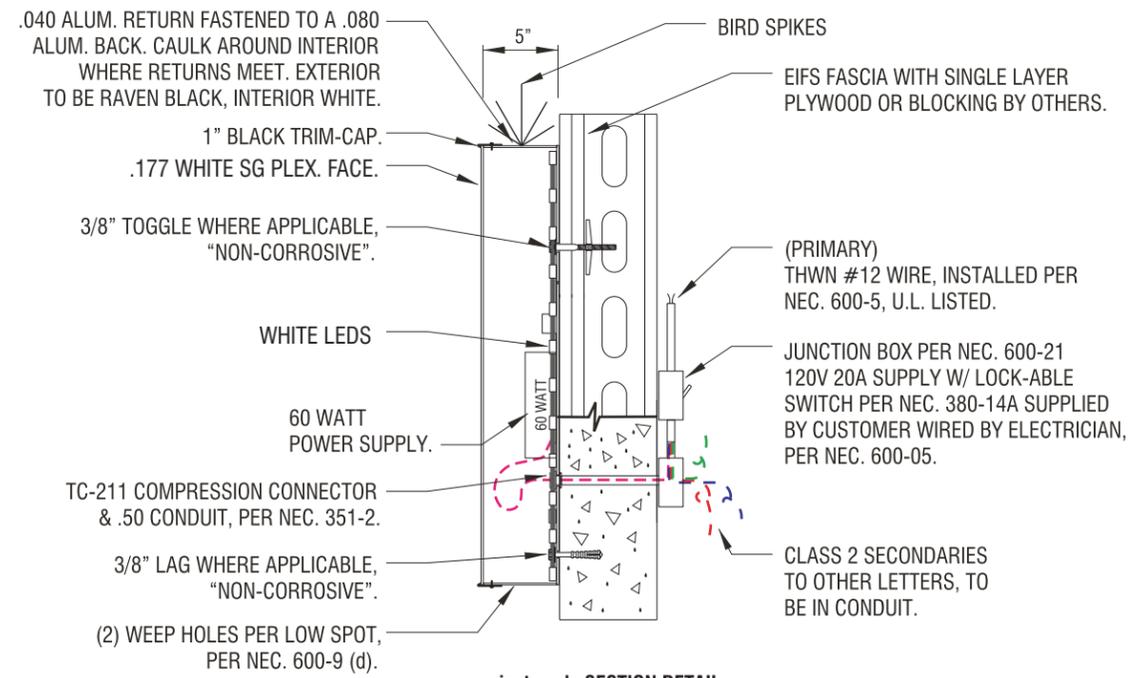
Square Footage for "Leaf" - 32.83

Square Footage for "Giant Eagle" - 127.9

Total Square Footage - 160.73



LEAF SECTION DETAIL
NOT TO SCALE



giant eagle SECTION DETAIL
NOT TO SCALE

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Beachwood, OH 44122

STORE #
5830

Issue Date: 03/01/23
Drawn By: EBD

REV	DATE	DESCRIPTION
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1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

S2 - DETAILS

Page 8

Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



SCOPE OF WORK

1. Remove existing Giant Eagle channel letters.
2. Install new Giant Eagle channel letters.
3. AFTER REMOVAL OF EXISTING SIGN, HOLES IN BRICK WALL WILL BE FILLED WITH MORTAR MIX, COLORED TO MATCH..
4. UTILIZE EXISTING PRIMARY POWER BEHIND WALL.



PROPOSED SIGNAGE



EXISTING SIGNAGE

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Image Elements. It cannot be reproduced, copied or exhibited, in whole or in part, without first obtaining written consent from Blair Image Elements.



Giant-Eagle
24501 Chagrin Blvd
Beachwood, OH 44122

STORE #
5830

Issue Date: 03/01/23		
Drawn By: EBD		
REV	DATE	DESCRIPTION
0	03/01/23	INITIAL RELEASE
1	06/29/23	REVISED PER COMMENTS
2	10/30/23	REVISED PER COMMENTS

S3 - EXISTING / PROPOSED

Rev: 2
Date: 10/30/23
Doc #: AD-GNE-91539-230301-2
Blair Project #: 91539
Blair Sales Order #: 53168

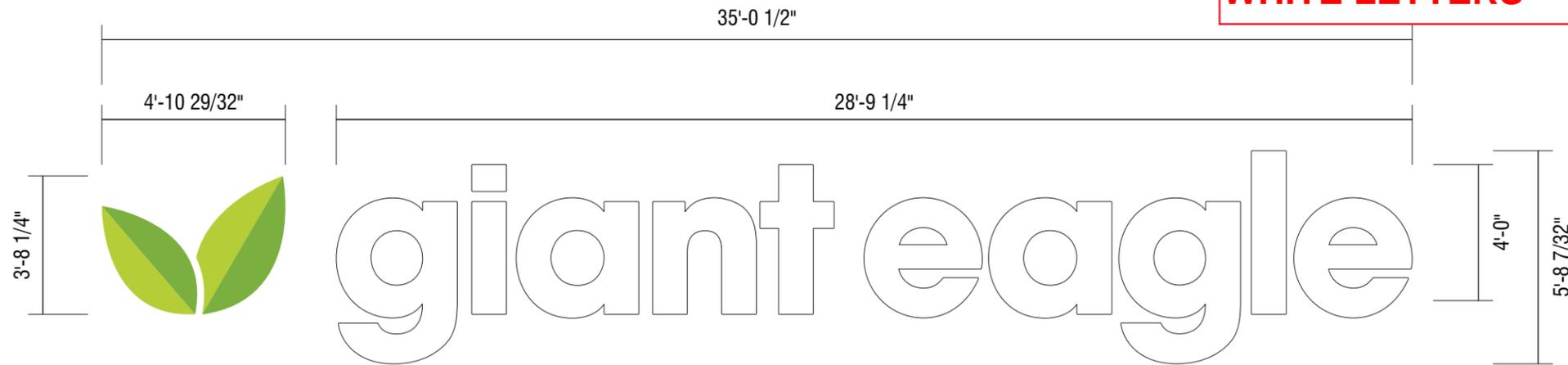
Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com



BLAIR ITEM #

GNELA00570A

GNELA00930-P:
WHITE LETTERS

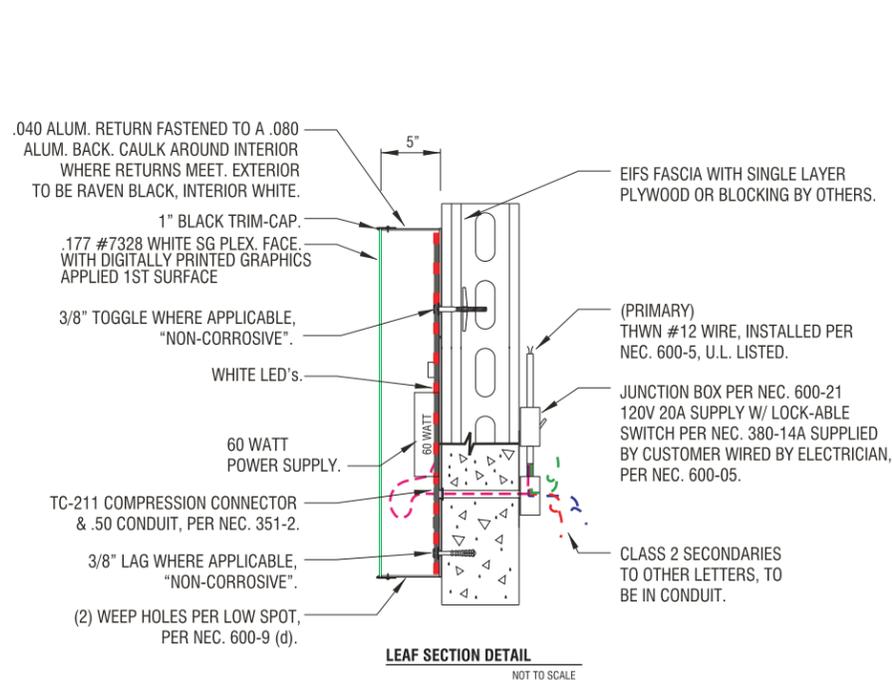


FRONT ELEVATION

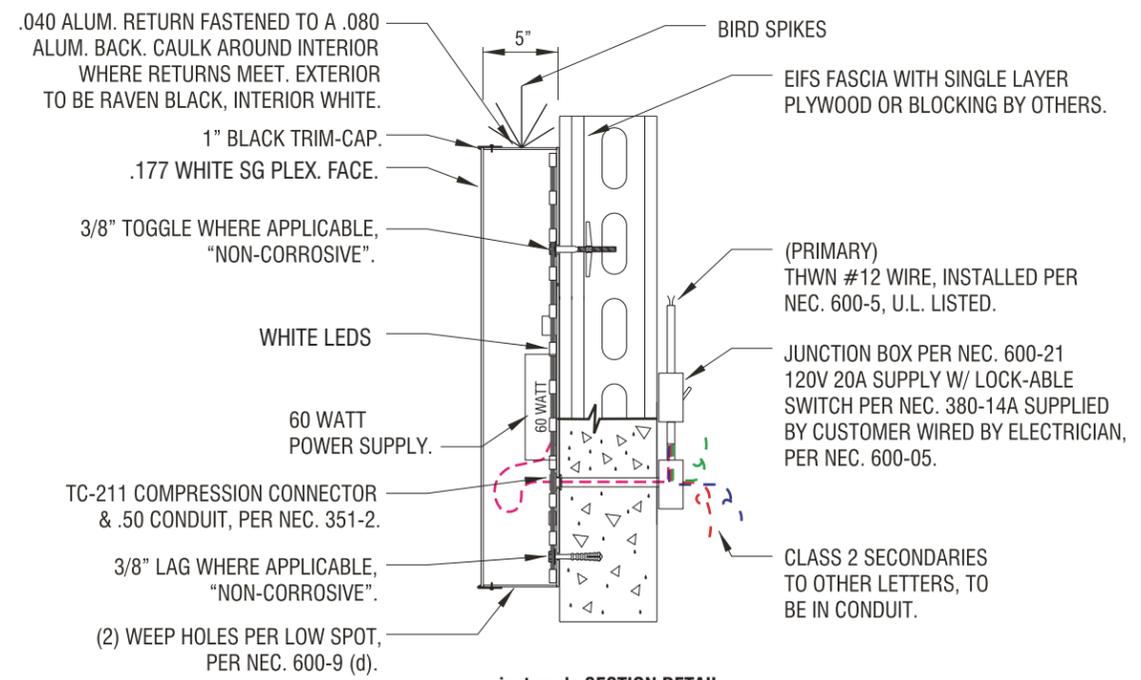
SCALE: 1/4" = 1'-0"

*REGISTERED "R" IS NOT INCLUDED WITH THE BUILDING LOGO

Square Footage for "Leaf" - 18.12
 Square Footage for "Giant Eagle" - 79.4
 Total Square Footage - 97.52



LEAF SECTION DETAIL
NOT TO SCALE



giant eagle SECTION DETAIL
NOT TO SCALE

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24501 Chagrin Blvd
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S3 - DETAILS

Page 10

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 5107 Kissell Avenue
 Altoona, PA 16601
 P: (814) 949.8287
 blairimage.com



P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 17, 2024

RE: **P&Z 2024-30 Zoning Resources
BMA Beachwood, LLC
24601 Chagrin Boulevard
Sign Area Variance**

This request is for approval of a sign area variance for wall signs at the Giant Eagle grocery store at the Pavilion shopping center on Chagrin Boulevard. Giant Eagle has adopted a new image and logo and these sign changes are part of that reimagining. The property is located in the U-4A Integrated Business District. The store is permitted a total sign area of 520 square feet. Several of the smaller existing signs (pharmacy, liquor agency, etc.) will remain as is, however, the main identification signs are being replaced with the new image.

The total proposed wall sign area is 631.32 square feet. By Code, the store is permitted a maximum sign area of 520 square feet. Therefore, the amount of the variance is 111.32 square feet. The proposed front wall sign is very similar in size to the existing sign. The primary source of the increase is the proposed side wall sign on the east side of the building. The Architectural Review Board noted that the size and placement of that proposed sign is more appropriate for the massing and design of the side wall and would be more readable than the current sign. Given the size of the building and its substantial setback, the requested variance appears reasonable and will not adversely impact adjacent properties.

The Commission has final authority to either grant or deny sign variances. Should the Commission decide to grant the variance, it should be subject to the following findings and stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1141.15(a) with regard to maximum sign area.
2. Granting a variance of 111.31 square feet to Section 1141.15(a) permit a total sign area of 631.32 square feet in lieu of the Code maximum of 520 square feet.



Cleveland Office
5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 6

P & Z 2024-30 Jim McFarland, Zoning Resources, is requesting approval for an area variance for a wall sign to be located at 24601 Chagrin, Giant Eagle.

There are no Engineering Comments for this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-30 24601 Chagrin Blvd. (Sign)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 8/28/24

OWNER OF BUILDING: Zachary Katz PHONE: 216-765-3284

STREET ADDRESS: 23203 Beachwood Blvd

CITY/STATE/ZIP: Beachwood, OH, 44122

APPLICANT: Zachary Katz PHONE: _____

COMPANY OR FIRM: _____

EMAIL: NUTIX3P@gmail.com

STREET ADDRESS: same

CITY/STATE/ZIP: _____

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Zachary Katz NUTIX3P@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 23203 Beachwood Blvd SUITE # _____

TENANT NAME: _____

PERMANENT PARCEL # 741-04-004 PRESENT USE: residential PROPOSED USE: residential

PURPOSE OF APPLICATION: To request 3.5 additional feet of space when

building our new garage (in length) so that we can comfortably fit our minivan inside, allowing for full functionality of the garage. This would make the garage standard garage length.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

without a variance, we will be unable to fully open/close minivan doors while in the garage making load & unloading the minivan difficult in inclement weather especially with small children

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

17.1 A height
limit 19.5

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

[Signature]
SIGNATURE

Zachary Katz
PRINTED NAME

8/27/24
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. 2024-31 MEETING DATE: 9/26/24

FEE: RECEIPT # _____ AMOUNT \$ 335 DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
Brian Roenigk, Building Commissioner
Phone (216) 292-1914 • Fax (216) 292-1917

Primary Owner

KATZ, ZACHARY & TALIA CHANA

Property Address

23203 Beachwood BLVD Beachwood,OH 44122

Tax Mailing Address

KATZ, ZACHARY 23203 BEACHWOOD BLVD BEACHWOOD, OH 44122

Description

7 R T LD S#31 0331 ALL

Property Class

SINGLE FAMILY DWELLING

Parcel Number

741-04-009

Taxset

Beachwood

Tax Year

2023 Pay 2024

Summary By Tax Year 2023 Pay 2024

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Assessed Values

Land Value	\$20,860
Building Value	\$63,700
Total Value	<u>\$84,560</u>
Homestead Value	\$

Market Values

Land Value	\$59,600
Building Value	\$182,000
Total Value	<u>\$241,600</u>

Flags

Owner Occu
Homestead
Foreclosure
Cert. Pendin
Cert. Sold
Payment Pla

Half Year Charge Amounts

Gross Tax	\$5,145.90
Less 920 Reduction	\$2,370.19
Sub Total	\$2,775.71
Non-business Credit	\$206.29
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	\$59.72
Half Year Net Taxes	<u>\$2,629.14</u>

Rates

Full Rate	123.26
920 Reduction Rate	.454801
Effective Rate	67.201265

Escrow

Escrow
Payment Arr

Charges

\$5,258.28

Payments

\$5,258.28

Tax Balance Sur

Balance Due

\$.00

2023 (pay in 2024) Charge and Payment Detail

Taxset

Beachwood

Charge Type

1st half tax
1ST HALF BALANCE
2nd half tax
2ND HALF BALANCE

C100030C-SEWER MAINTENANCE

1st half tax - 2023
1ST HALF BALANCE
2nd half tax - 2023
2ND HALF BALANCE

C100030S-Sewer Maintenance

1st half tax - 2023
1ST HALF BALANCE
2nd half tax - 2023
2ND HALF BALANCE

Total Balance

Amount Due (may include interest as of current date)



APPLICANT: Zachary Katz

P&Z:	ZONING DATA		DATE: 08/27/24
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT			
MINIMUM LOT AREA			
MINIMUM LOT FRONTAGE			
MINIMUM FRONT YARD BUILDING SETBACK	35	31.5	3.5
MINIMUM SIDE YARD BUILDING SETBACK			
MINIMUM REAR YARD BUILDING SETBACK			
MAXIMUM BUILDING HEIGHT			
MINIMUM LANDSCAPED AREA			
MINIMUM PARKING SETBACKS	Front = Side = Rear =	Front = Side = Rear =	
MINIMUM DRIVE AISLE			
MINIMUM PARKING STALL			
MINIMUM OFF-STREET PARKING			
SITE DEVELOPMENT PLANS			

PRIVATE RESIDENCE

23203 Beachwood Blvd. BEACHWOOD, OH 44122

DRAWING INDEX:

CS	COVER SHEET AND NOTES
A-1	FOUNDATION PLAN
A-2	1st FLOOR PLAN
A-3	2nd FLOOR PLAN
A-4	ROOF PLAN, WALL SECTION
A-5	EXTERIOR ELEVATIONS
A-6	WALL BRACING NOTES & DETAILS
M-1	HVAC & ELECTRICAL SCHEMATIC PLANS

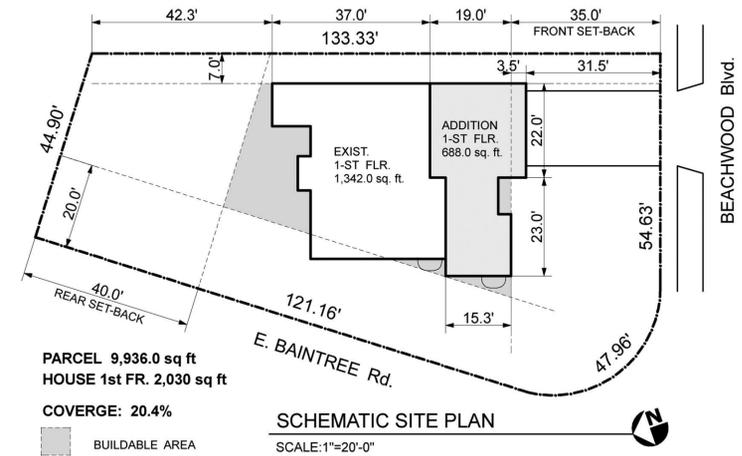
SQUARE FOOTAGES:

PROPOSED:	1st FLOOR - 1,620 sq.ft.
	2nd FLOOR - 1,840 sq. ft.
TOTAL:	3,460 sq. ft.
EXISTING:	2,410 sq. ft.
ADDED LIVING AREA:	1,050 sq. ft.

STRUCTURAL ENGINEERING:



I. A. Lewin, P.E. and Associates
4110 Mayfield Road, Suite B
South Euclid, Ohio 44121
(216)291-3131 fax(216)291-2605
www.lewinandassociates.com



PARCEL 9,936.0 sq ft
HOUSE 1st FR. 2,030 sq ft

COVERGE: 20.4%
BUILDABLE AREA

SCALE: 1"=20'-0"

GENERAL STRUCTURAL NOTES:

2019 RESIDENTIAL CODE OF OHIO

STRUCTURAL DESIGN CRITERIA

CODE: OHIO RESIDENTIAL CODE, CURRENT ED.	
ROOF LIVE LOAD:	20 PSF MIN.
GROUND SNOW LOAD:	30 PSF
SNOW IMPORTANCE FACTOR:	1.0
SNOW EXPOSURE FACTOR:	0.9
ROOF SNOW LOAD:	30 PSF
FLOOR LIVE LOAD:	
FIRST FLOOR:	40 PSF
SECOND FLOOR:	30 PSF
STAIR LOADS:	100 PSF
GUARDRAIL LOADS:	200 LBS ANY DIRECTION OR 50 PLF ANY DIRECTION NOT APPLIED SIMULTANEOUSLY
WIND LOAD:	
DESIGN VELOCITY:	90 MPH
EXPOSURE:	B
IMPORTANCE FACTOR:	1.0
DESIGN PRESSURE:	15 PSF MWFRS
DEFLECTION CRITERIA	
NORMAL FLOOR LOADS	L480 LIVE LOAD
	L800 TOTAL LOAD
STONE TILE FLOORS	L720 FOR SPANS <= 13'-0"
	0.25" FOR SPANS > 13'-0"
CERAMIC TILE FLOORS	L480 LIVE LOAD
	L800 TOTAL LOAD
	L600 FOR CONC. 300 LB
BEAMS AND HEADERS	L800 TOTAL LOAD

GENERAL

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. IN CASE OF CONFLICT, MORE COSTLY REQUIREMENTS GOVERN FOR BIDDING. SUBMIT CLARIFICATION REQUEST PRIOR TO PROCEEDING WITH WORK.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK. UNLESS NOTED OTHERWISE, DETAILS IN STRUCTURAL DRAWINGS ARE TYPICAL AS INDICATED BY CUTS, REFERENCES, OR TITLES.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING CODES: OHIO RES CODE AND LATEST REVISIONS REFERRED TO HERE AS "THE CODE", AND ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- ASTM SPECIFICATIONS ON THE DRAWINGS SHALL BE OF THE LATEST REVISION. THE CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.

FOUNDATION

- GENERAL CONTRACTOR TO RETAIN GEOTECHNICAL ENGINEER TO VERIFY SOIL BEARING CAPACITY AND ADEQUACY OF SOLS FOR PROJECT. SUBMIT WRITTEN REPORT TO BOTH ENGINEER OF RECORD AND LOCAL BUILDING AUTHORITY.
- FOOTINGS ARE DESIGNED BASED ON THE FOLLOWING INFORMATION: ALLOWABLE BEARING = 2000 PSF. FOOTINGS SHALL BEAR ON COMPACTED FILL OR NATIVE SOILS TESTED.
- CONTRACTOR TO PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE WATER, GROUND WATER, OR SEEPAGE, IF REQUIRED.
- CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED AND SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE CONCRETE OR GROUT HAS ATTAINED FULL DESIGN STRENGTH.
- FOUNDATIONS SHALL BE PLACED AND ESTIMATED ACCORDING TO DEPTHS SHOWN ON DRAWINGS. SHOULD SOIL ENCOUNTERED AT THESE DEPTHS NOT BE APPROVED BY THE INSPECTOR OR SOILS ENGINEER, FOUNDATION ELEVATIONS WILL BE ALTERED BY CHANGE ORDER.
- SLABS ON GRADE SHALL BE SUPPORTED ON NATURAL GRADE OR COMPACTED FILL. PROOF ROLL PRIOR TO PLACING BASE. REPLACE SOFT AREAS WITH COMPACTED FILL.
- PLACE FILLS TO BE COMPACTED IN MAX 8" LOOSE LIFTS. COMPACT TO MINIMUM 98% OF MAXIMUM DENSITY AT +2% OPTIMUM MOISTURE. WHEN TESTED IN ACCORDANCE WITH ASTM D-698.
- DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL FLOOR STRUCTURE IS COMPLETE OR WALL IS ADEQUATELY BRACED. USE STRUCTURAL PIPE BRACING. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF BRACING.

CONCRETE

- ALL CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CODE AND WITH THE PROVISIONS OF ACI 318, LATEST EDITION.
- SCHEDULE OF STRUCTURAL CONCRETE 28-DAY STRENGTH AND TYPES (SLUMP LISTED IS MAX):

LOCATION IN STRUCTURE	
ALL CONCRETE FOOTINGS	DENSITY 145 PCF
W/C RATIO	0.55
STRENGTH	3000 PSI
SLAB-ON-GRADE (INT & EXT)	DENSITY 145 PCF
W/C RATIO	0.45
STRENGTH	4000 PSI
AIR ENTRAINMENT	6% FOR EXT & GARAGE SLABS

 CONTRACTOR AT HIS OPTION MAY INCREASE SLUMP WITH USE OF HRWR ADMIXTURE. LIMIT SLUMP INCREASE TO 3" GREATER THAN THAT ALLOWED WITHOUT HRWR.
- ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- CUT JOINTS FOR SLABS ON GRADE A MAXIMUM OF 12'-0" O.C., UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS. CUT JOINTS WITHIN 8' (EIGHT) HOURS AFTER PLACING CONCRETE. CONCRETE EXPOSED TO THE WEATHER, FREEZE-THAW, DEICING CHEMICALS, AND/OR PARKED VEHICLES SHALL CONTAIN 6% (PERCENT) ENTRAINMENT AIR EITHER BY USING TYPE "A" PORTLAND CEMENTS OR ADMIXTURES CONFORMING TO ASTM C-260.
- CURE CONCRETE BY WET CURING OR LIQUID SPRAY CONFORMING TO ASTM C-309. CONCRETE TO BE WET CURING AGENT IS COMPATIBLE WITH ANY FLOOR ADHESIVES SPECIFIED WITHIN THE CONTRACT DOCUMENTS.
- CALCIUM CHLORIDE OR CHLORIDE CONTAINING ADMIXTURES 1%/WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES. 18. DURING HOT WEATHER PLACE CONCRETE IN ACCORDANCE WITH ACI 308. DURING COLD WEATHER PLACE CONCRETE IN ACCORDANCE WITH ACI 306.

REINFORCING STEEL

- REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 12 OF THE ACI CODE, ASTM A615, GRADE 60 U.N.O.
- BARS SHALL BE CLEAN OF RUST, GREASE, OR OTHER MATERIALS LIKELY TO IMPAIR BOND. ALL REINFORCING BAR BENDS SHALL BE MADE COLD. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 (MATS ONLY). PROVIDE LAPS PER THE ACI CODE SECTION 12.8, 9" MINIMUM. WWF SHALL BE SUPPORTED ON APPROVED CHAIRS.
- CONCRETE PROTECTION FOR REINFORCEMENT CAST-IN-PLACE CONCRETE (NON-PRESTRESSED) THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT 1/2" COVER UNLESS NOTED OTHERWISE:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER: 2"
 - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: 1 1/2"
 - SLABS, WALLS, JOISTS: 3/4"

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERRECT BY AN APPROVED AND LICENSED FABRICATOR IN ACCORDANCE WITH THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION (EXCLUDING SECTION A7).
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE ASTM DESIGNATION AS INDICATED BELOW (U.N.O.):

ALL WF SHAPES, U.N.O.	ASTM A992
BASE PLATES, CONNECTION PLATES, ANGLES, CHANNELS, AND MISCELLANEOUS:	ASTM A-36
PIPE COLUMNS:	ASTM A-53, GRADE B
TUBE SECTIONS:	A-500, GRADE B
H.S. BOLTS:	A-325, S.C. U.N.O.
NON-STRUCTURAL BOLTS:	A-307
- ALL WELDING IS TO BE DONE BY CERTIFIED WELDERS USING E70XX ELECTRODES (U.N.O.). ALL WELDS SHALL BE IN CONFORMITY WITH THE PROJECT SPECIFICATIONS AND THE CODE FOR WELDING IN BUILDING CONSTRUCTION (AWS D1.1 LATEST REVISION) OF THE AMERICAN WELDING SOCIETY. SEE SPECIAL INSPECTION SECTION AND STEEL DETAIL DRAWINGS FOR WELDING INSPECTION REQUIREMENTS.

MASONRY

- CONSTRUCT ALL MASONRY WALLS IN ACCORDANCE WITH ACI 530 AND ACI 530.1 UNLESS OTHERWISE SHOWN OR NOTED.
- MATERIALS:
 - ASTM C-90 LOAD BEARING UNITS:
 - ASTM C-55 CONCRETE BRICK
 - ASTM C-216, TYPE FBS, GRADE SW FACING BRICK
 - ASTM C-129 NON LOAD BEARING UNITS
 - ASTM C-270 (PROPORTION METHOD) MORTAR (TYPE M, S, N, or O):
 - ASTM C-478 (2000 PSI, PROPORTION METHOD) GROUT:
 - ASTM A-615 GRADE 60 REINFORCING STEEL BARS
- MASONRY PRISM STRENGTH: (m) = 1,800 PSI AT 28 DAYS, UNLESS NOTED
- MORTAR USAGE:
 - FOR ABOVE AND BELOW GRADE WALLS: TYPE S
 - REINFORCED MASONRY: TYPE S
 - LOAD BEARING (INTERIOR AND EXTERIOR): TYPE N
 - NON-LOAD BEARING (EXTERIOR): TYPE N
 - NON-LOAD BEARING PARTITIONS (INTERIOR): TYPE N
- ACCELERATING ADMIXTURES MAY BE USED IN MORTAR FOR COLD WEATHER CONST. EXCEPT ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE OR CHLORIDE IONS. EUCLOID CHEMICAL "ACCELGRAD 80" OR EQUAL WILL BE ACCEPTABLE.
- CONCRETE MASONRY UNITS AND MORTAR ARE TO CONTAIN AN INTEGRAL WATER REPELLENT ADMIXTURE, GRADE "DRY-BLOCK", DEUSSA "RHOEOL WR" OR EQUAL. ADD DOSAGES TO BLOCK MIX AND MORTAR MIX PER MANUFACTURERS WRITTEN RECOMMENDATIONS.
- IN MASONRY WALLS, NO CHASES, RISERS, CONDUITS OR TOOTHING OF MASONRY SHALL OCCUR WITHIN 1" OF CENTERLINE OF BEAM BEARING OR CONCENTRATED LOADS. DO NOT INSTALL ANY BEAM, JOIST, BEARING PL OR CONT ANGLE ACROSS CONCRETE OR EXPANSION JOINT. SHIFT BEAM, JOIST OR BRG PL TO ONE SIDE, ADJUST SPACING AS NEEDED. CUT CONT ANGLES AT JOINTS. GC TO COORD JOINT LOCATIONS WITH BEAM/JOIST BEARING USE TWO COURSES (12") OF SOLID OR GROUTED SOLID MASONRY BELOW EACH BEAM BEARING MINIMUM UNLESS NOTED OTHERWISE.
- PROVIDE HORIZONTAL JOINT REINFORCING IN ALL MASONRY WALLS AT 16" O.C. 10. VERTICALLY, JOINT REINFORCING SHALL BE DUR-WAL LADDER TYPE, 9 GA. GALVANIZED WIRE, OR EQUAL. LAP SPLICES MINIMUM 6".
- VENEER ANCHORS TO BE TWO PIECE, PINTLE AND EYE RECTANGULAR TYPE OR 1 ADJUSTABLE WITH TRIANGULAR TIES. TIES ARE TO BE MIN " GALVANIZED WIRE, 1/8" SPACE TIES AT 16" O.C. VERT AND 24" O.C. HORIZ STAGGER ROWS. CORRUGATED TIES WILL NOT BE PERMITTED PROVIDE UNITS APPROPRIATE FOR THE USE, I.E., SASH, BILLBOARD, BOND, ETC.
- PROVIDE FIRE RATED OR EQUIVALENT MASONRY UNITS AT FIREWALLS, STAIRWELLS AND ELEVATOR SHAFT. CERTIFICATES OF COMPLIANCE SHALL BE FURNISHED UPON REQUEST.
- DURING CONSTRUCTION, BRACE MASONRY WALLS IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" BY THE COUNCIL FOR MASONRY WALL BRACING. CONTRACTOR IS SOLELY RESPONSIBLE TO MEET THESE REQUIREMENTS.
- CONSTRUCT MASONRY IN ACCORDANCE WITH ACI 530.1 SECTION 1.8 DURING COLD OR HOT WEATHER. USE OF 100% CHLORIDE FREE ACCELERATING ADMIXTURE IS SUBJECT TO APPROVAL BY ENGINEER. SUBMIT PRODUCT DATA PRIOR TO APPLICATION.

STEEL LINTEL SCHEDULE

- PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN ALL MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L1 1/2x3 1/2x1/4 FOR OPENINGS UP TO 4'-0"		
L3x3 1/2x 5/16 FOR OPENINGS FROM 4'-0" TO 6'-0"		
L3x3 1/2x5/16 FOR OPENINGS FROM 6'-0" TO 7'-0"		
W8x18 with 5/16" Plate FOR OPENINGS FROM 7'-0" TO 10'-0"		
FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS ALLOW FOR A MINIMUM BEAM WEIGHT OF 36 PLF PLUS A 5/16" x 11" BOLT		
- ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, U.N.O.
- USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.
- MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16"
- ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS ARE TO BE HOT DIPPED GALVANIZED.
- FOR MULTI WYTHE WALLS WITH AIR SPACES, CONTRACTOR IS TO INCLUDE 6. ADDITIONAL ANGLES, PLATES, AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.

ROUGH CARPENTRY

- DETAIL, FABRICATE, AND ERRECT ALL STRUCTURAL LUMBER IN ACCORDANCE WITH NATIONAL DESIGN SPECIFICATION BY NATIONAL FOREST PRODUCTS ASSOCIATION AND TIMBER CONSTRUCTION MANUAL, BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, LATEST EDITION
- MATERIALS:
 - S4S LUMBER (ASLS PS 20) SPECIES: DOUGLAS FIR, HEM FIR OR S-P-F OR AS SELECTED BY ARCHITECT GRADE:
 - NO. 2 OR BETTER, 19% MC, KILN DRIED
 - *JOISTS: ENGINEERED LVL FLANGES WITH OSB WEB, ASTM D 5055 AND APA PRI-400 ALTERNATE MANUFACTURERS MAY BE SUBSTITUTED FOR SIZES SPECIFIED. VALUES EQUAL OR EXCEED THOSE I PROVIDED BOTH MOMENT CAPACITY AND E OF SPECIFIED PRODUCT
 - GLUE LAMINATED LUMBER: (A1TC 103 AND 117); Fb = 2400 PSI, Fv = 200 PSI E = 1,700,000 PSI ADHESIVE TO BE WATER RESISTANT TYPE
 - LAMINATED VENEER LUMBER (LVL): ASTM D 5456, Fb = 2800 PSI, Fv = 105 PSI E = 1,900,000 PSI
 - SHEATHING - APA RATED FOR APPLICATION: EXTERIOR GRADE AT ROOFS EXPOSURE 1 FOR WALLS AND FLOORS PLYWOOD - APA VOLUNTARY STANDARD PS-1 ORIENTATED STRAND BOARD - VOLUNTARY STANDARD PS-2

TREATED LUMBER - TO BE FACTORY PRESSURE APPLIED AS FOLLOWS:
EXTERIOR EXPOSURES: GROUND CONTACT, AWA UC3B OR UC4B
FIRE RESISTANT: AWA UCFA FOR INTERIOR AND UCFB FOR EXTERIOR.
SEE ARCHITECTURAL DRAWINGS FOR FIRE TREATED LUMBER LOCATIONS.

- LUMBER SUPPLIER SHALL FURNISH ALL APPROPRIATE CONNECTIONS FOR ATTACHING LUMBER FRAMING AND ANCHORING TO ADJACENT CONSTRUCTION. CONNECTIONS SHALL BE MADE WITH STANDARD DESIGNS, FABRICATED FROM 16 OR 18 GA. SHEET METAL FOR SINGLE OR DOUBLE 2x LUMBER MEMBERS OR 3, 7, OR 12 GA. STEEL PLATE FOR MULTIPLE PLY. GLULAM OR LVL MEMBERS, AS MANUFACTURED BY CLEVE STL SPEC. U.S.P. SIMPSON STRONGTIE, OR EQUAL. DETAILS SHALL CONFORM TO AITC STANDARD NO. 104.
- BOLTS, NAILS, SPIKES, AND OTHER CONNECTORS SHALL BE APPROPRIATE FOR THE USE INTENDED. FASTENERS EXPOSED TO FIRE-TREATED LUMBER, CHEMICAL FUMES, WEATHER AND/OR HIGH HUMIDITY SHALL BE HOT DIPPED GALVANIZED, UNLESS INDICATED OTHERWISE ON DRAWINGS.
- ALL CONNECTORS, FASTENERS, NAILS, BOLTS AND SPIKES USED FOR PRESSURE TREATED LUMBER CONNECTIONS SHALL BE FABRICATED FROM STAINLESS STEEL, TYPE 304 OR 316.
- DESIGN, FABRICATE AND ERRECT PRE-ENGINEERED WOOD TRUSSES IN ACCORDANCE WITH TRUSS PLATE INSTITUTE "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES." SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. DRAWINGS ARE TO INCLUDE: DESIGN LOADS, REACTIONS, MEMBER SIZES, STRESSES, PLATE SIZES, DIMENSIONS, AND ERECTION DRAWINGS AS REQUIRED. TRUSS MANUFACTURER TO PROVIDE CERTIFIED DOCUMENTS INDICATING THE MANUFACTURER HAS A MINIMUM OF 5 YEARS EXPERIENCE IN DESIGNING AND PRODUCING TRUSSES FOR NON-RESIDENTIAL CONSTRUCTION. FAILURE TO SUBMIT THIS DOCUMENT WILL BE CAUSE FOR REJECTION OF TRUSS MANUFACTURER AND ANY TRUSS SUBMITTALS.
- ERECT PRE-ENGINEERED WOOD TRUSSES IN ACCORDANCE WITH TRUSS PLATE INSTITUTE D58-49 "TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" INCLUDING GROUND BRACE, LATERAL BRACES AND DIAGONAL 'X' BRACES. IF NOT SHOWN OTHERWISE ON CONSTRUCTION DOCUMENTS, TEMPORARY BRACING IS TO BE LEFT PERMANENTLY IN PLACE. PROVIDE WOOD HEADERS AS PER THE FOLLOWING SCHEDULE IN ALL STUD WALL.
- OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. FOR OPENINGS FROM 4'-0" TO 6'-0": 2-2x6s FOR OPENINGS FROM 6'-1" TO 8'-0": 2-2x10s 2-2x12s FOR OPENINGS FROM 8'-1" TO 10'-0".
- STUD SCHEDULE - USE THE FOLLOWING SCHEDULE, UNLESS NOTED OTHERWISE ON PLANS. PROVIDE ONE ADDITIONAL KING STUD EACH SIDE, FULLY NAILED TO JACK STUDS.

BEARING WALLS MAX OPENING SIZE	NON-BEARING WALLS
UP TO 4'	ONE
4' TO 6'	ONE
6' TO 8'	ONE
8' TO 10'	2
10' TO 12'	2
OVER 12'	SEE PLAN

- ADD ONE 2x MEMBER FOR EACH ADDITIONAL 2" NOMINAL WALL WIDTH.
- PROVIDE BEARING JACK STUDS EQUAL TO NUMBER OF BEAM LAMINATIONS PLUS ONE KING-STUD UNDER ALL BEAM BEARING LOCATIONS. STUDS ARE TO EXTEND TO SOLID OR BEAM BEARING OR AS NEEDED. BLOCK SOLD AS NEEDED.
- FASTEN ALL COMPONENTS WITH NAILS OR SCREWS PER OHIO RESIDENTIAL CODE REQUIREMENTS, UNLESS NOTED OTHERWISE ON DRAWINGS. STAPLES FOR ANY PURPOSE SHALL NOT BE PERMITTED.

CONNECTION NAILING SCHEDULE

1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d (1)
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" x 6" (25 mm x 152 mm) SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
WIDER THAN 1" x 6" (25 mm x 152 mm) SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
2" (51 mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
4. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d @ 16" (406 mm) O.C.
5. SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d PER 16" (406 mm) O.C.
6. TOP PLATE TO STUD, END NAIL	2-16d
7. STUD TO SOLE PLATE	4-8d TOENAIL, OR 2-16d END NAIL
8. DOUBLED STUDS, FACE NAIL	16d @ 24" (610 mm) O.C.
9. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d @ 16" (406 mm) O.C.
10. DOUBLE TOP PLATES, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO JOIST OR BLOCKING, FACE NAIL	8d @ 8" (152 mm) O.C.
14. CONTINUOUS HEADER, TWO PIECES ALONG EACH EDGE	16d @ 16" (406 mm) O.C.
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" (25 mm) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" x 8" (25 mm x 203 mm) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" x 8" (25 mm x 203 mm) SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d @ 24" (610 mm) O.C.
22. BUILT-UP GIRDER AND BEAMS	20d @ 32" (813 mm) O.C.
AT TOP AND BOTTOM AND STAGGERED,	2-20d AT ENDS AND AT EA SPLICE
23. 2" (51 mm) PLANKS	2-16d AT EACH BEARING
24. WOOD STRUCTURAL PANELS AND PARTICLE BOARD: (2) SUBROOF, ROOF AND WALL SHEATHING, (TO FRAMING):	
12" AND LESS	8d (3)
19/32" - 3/4"	8d (4) OR 5d (5)
7/8" - 1"	8d (3)
1 1/8" - 1 1/4"	10d (4) OR 8d (5)
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING):	
3/4" AND LESS	8d (5)
7/8" - 1"	8d (5)
1 1/8" - 1 1/4"	10d (4) OR 8d (5)
25. PANEL SIDING (TO FRAMING):	
1/2" (13 mm) OR LESS	6d (6)
5/8" (16 mm)	8d (6)
26. FIBERBOARD SHEATHING: (7)	
1/2" (13 mm) THICKNESS	6d (4)
25/32" (20 mm) THICKNESS	NO. 16 GA (9)
27. INTERIOR PANELING	
1/4" THICKNESS	6d (10)
3/8" THICKNESS	8d (11)

NOTES (AS IDENTIFIED IN PARENTHESES ABOVE)

- COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES (152 mm) AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLE BOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2314.3. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- COMMON OR DEFORMED SHANK.
- COMMON.
- DEFORMED SHANK.
- CORROSION-RESISTANT SIDING AND CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2325.1.
- FASTENERS SPACED 3 INCHES (76 mm) ON CENTER AT EXTERIOR EDGES AND 6 INCHES (152 mm) ON CENTER AT INTERMEDIATE SUPPORTS.
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" INCH LENGTH FOR 1/2" INCH SHEATHING AND 1 3/4" INCH FOR 25/32" INCH SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2325.1.
- STAPLES OF ANY TYPE MAY NOT BE USED UNDER ANY CIRCUMSTANCES.
- PANEL SUPPORTS AT 16 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED; CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- PANEL SUPPORTS AT 24 INCHES CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES (305 mm) AT INTERMEDIATE EDGES.

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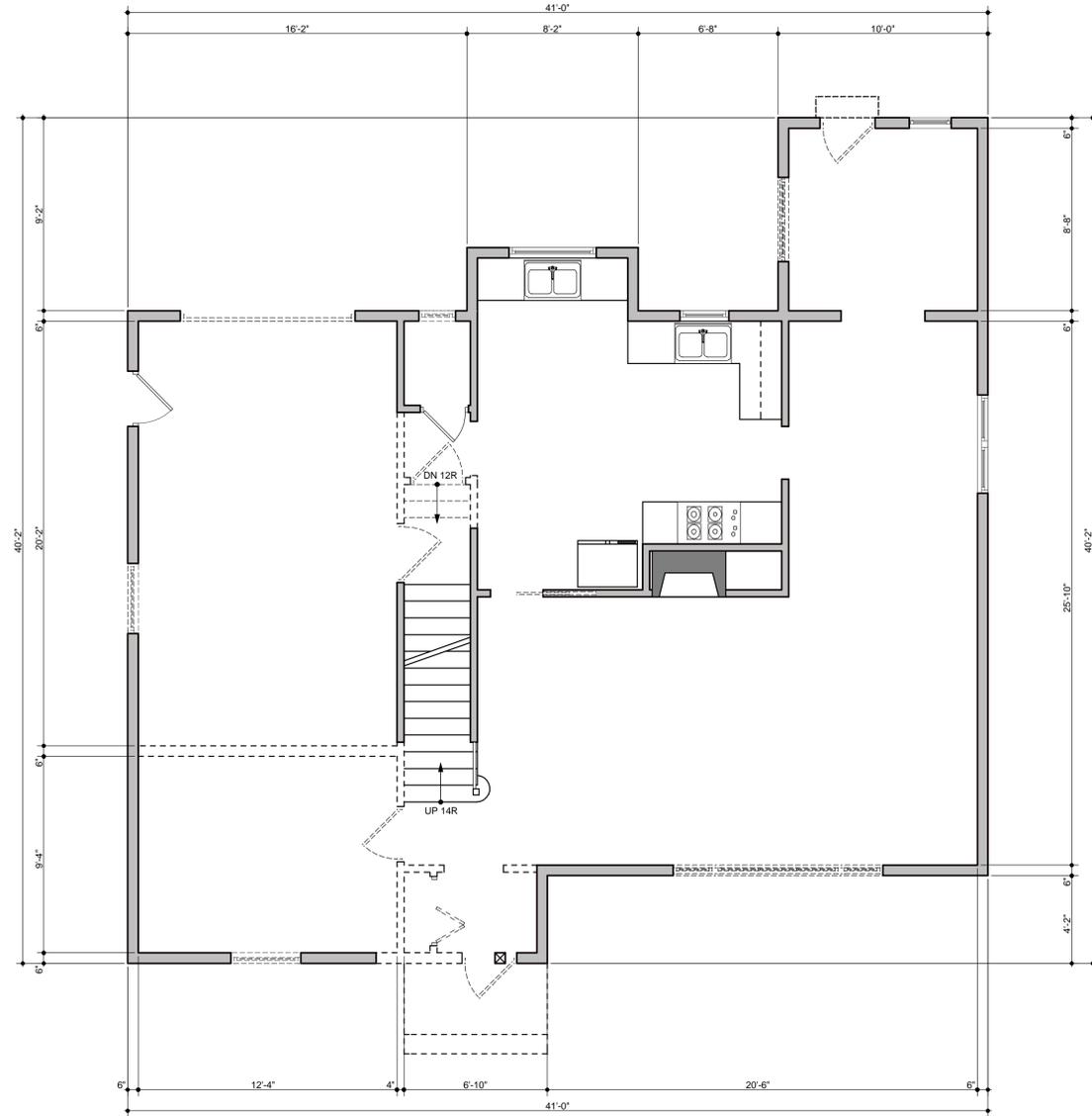
COVER SHEET,
GENERAL STRUCTURAL
NOTES
SCALE: N.T.S.

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JOB NUMBER: 23-67

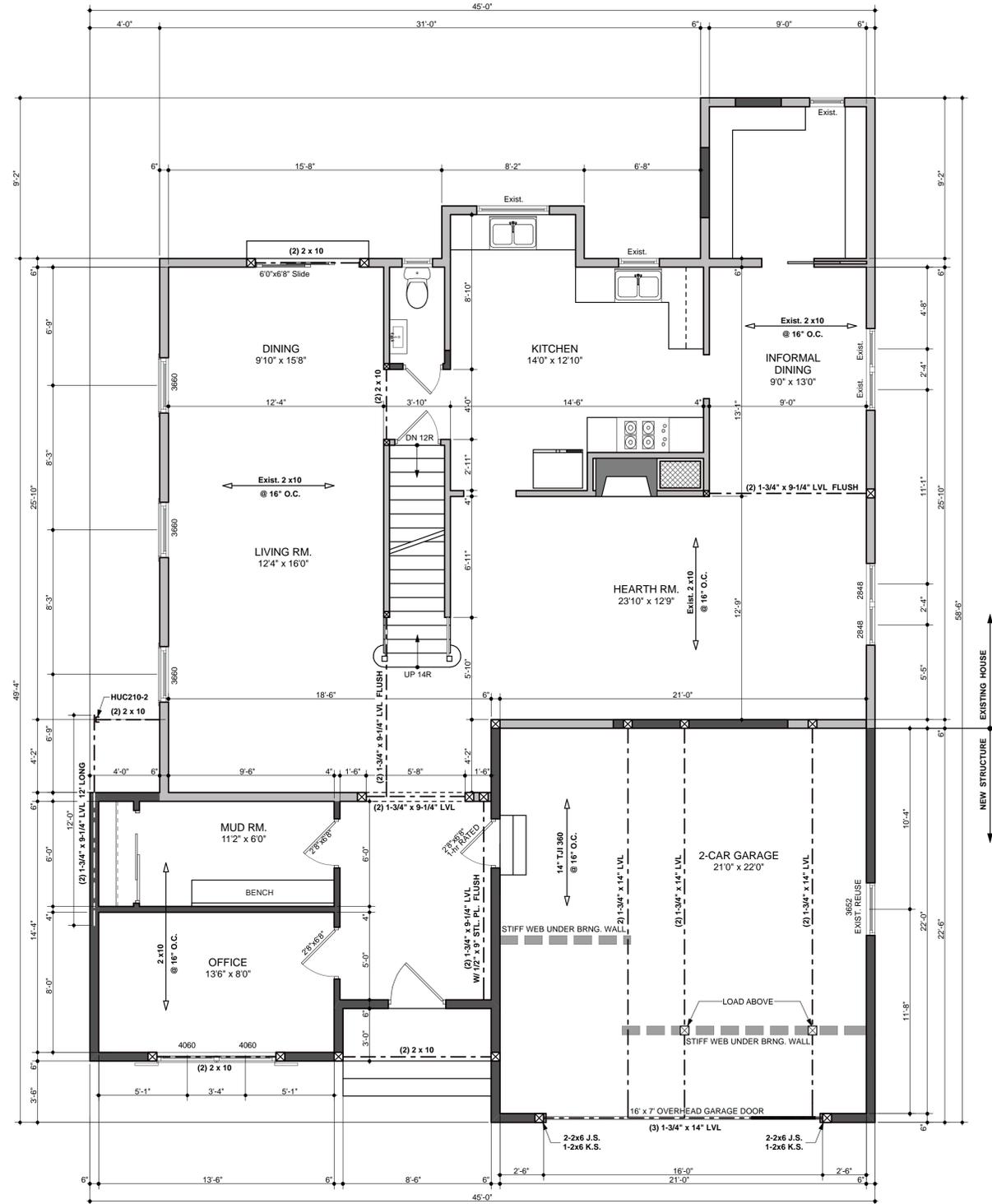
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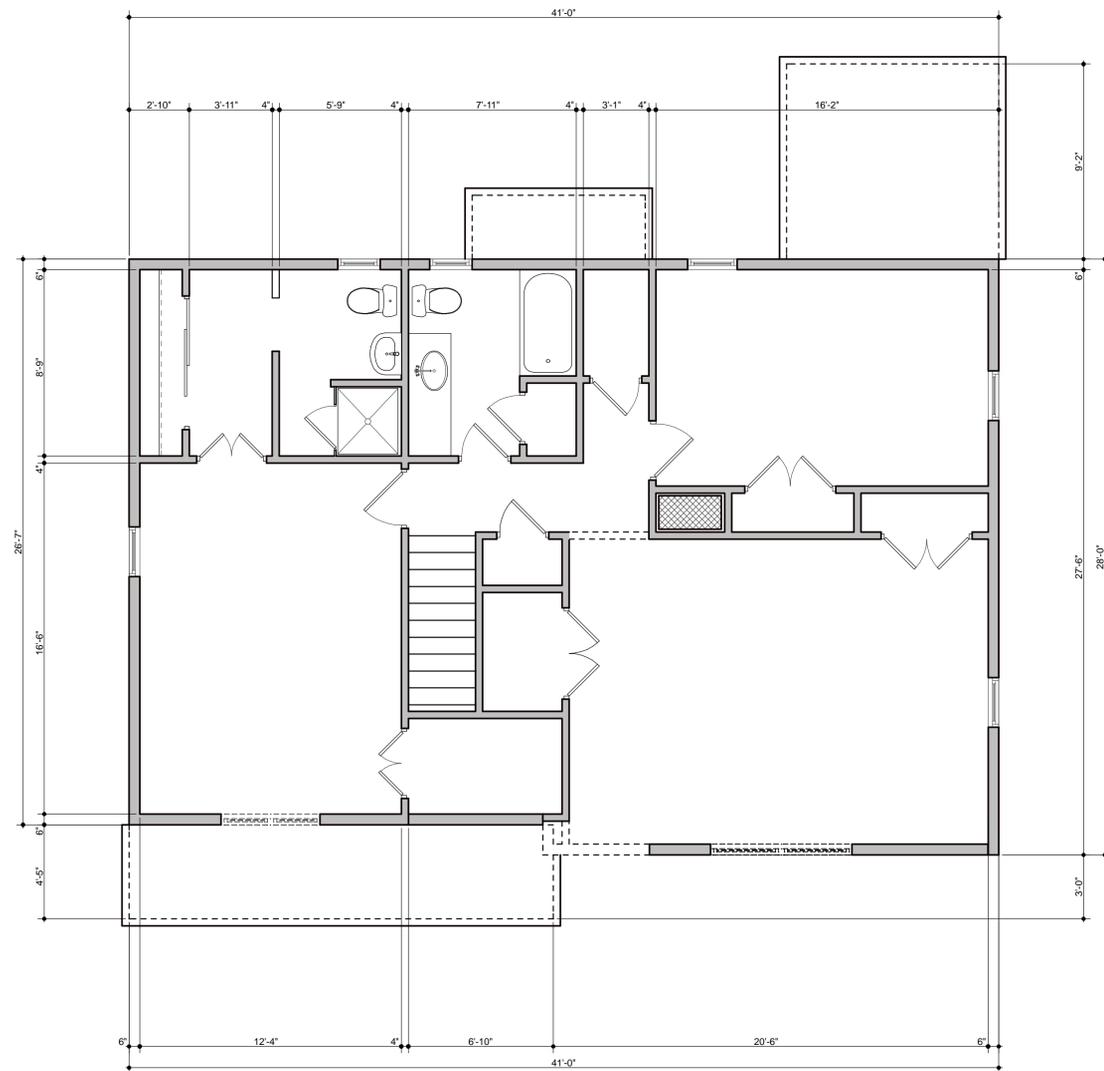


1st FLOOR PLAN - EXISTING 1,320 S.F.
SCALE: 1/4"=1'-0"

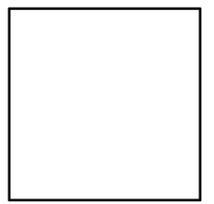
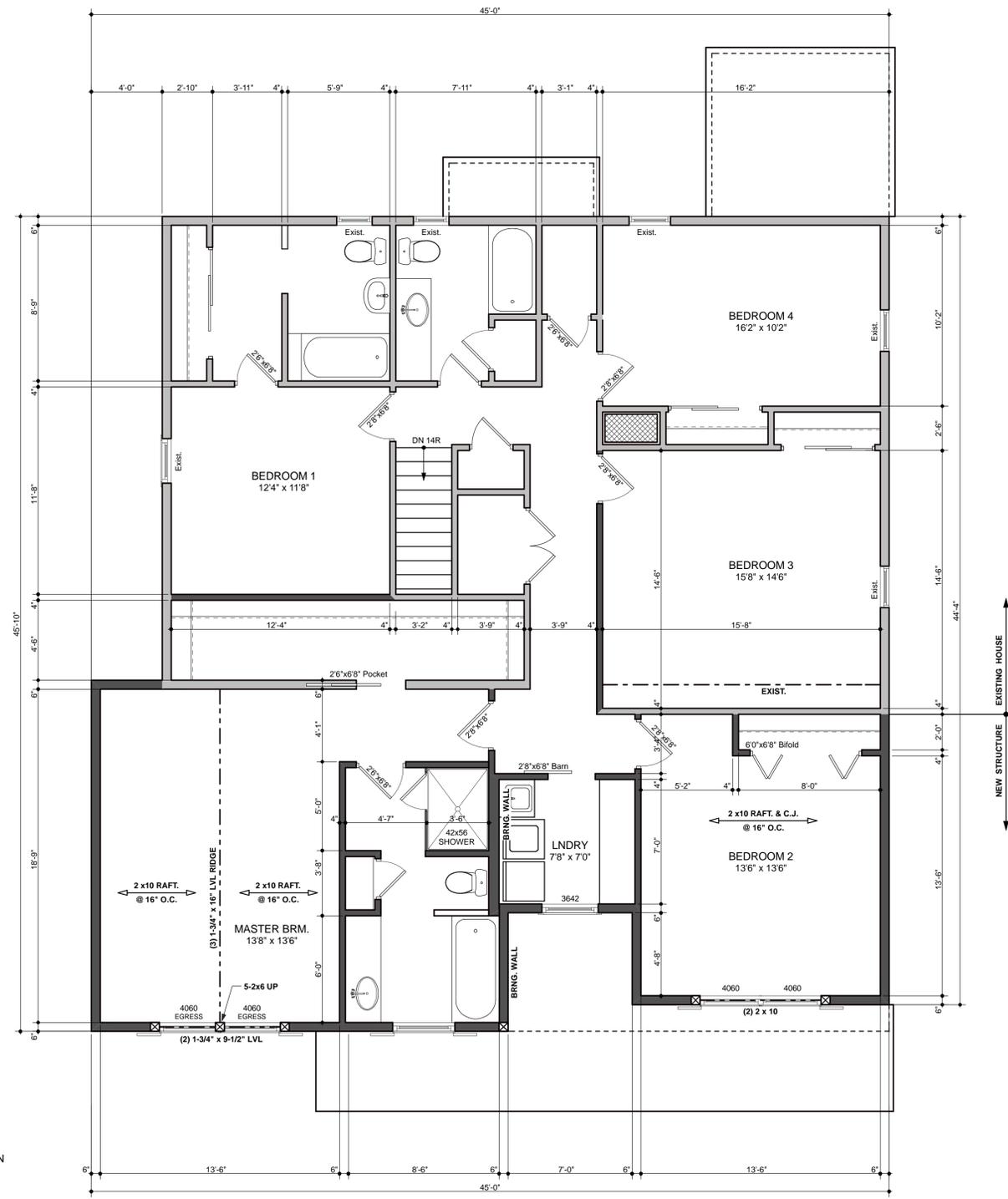
EXISTING WALL TO REMAIN
WALLS TO REMOVE
NEW WALLS



1st FLOOR PLAN - NEW 1,620 S.F.
SCALE: 1/4"=1'-0"



EXISTING WALL TO REMAIN
WALLS TO REMOVE
NEW WALLS



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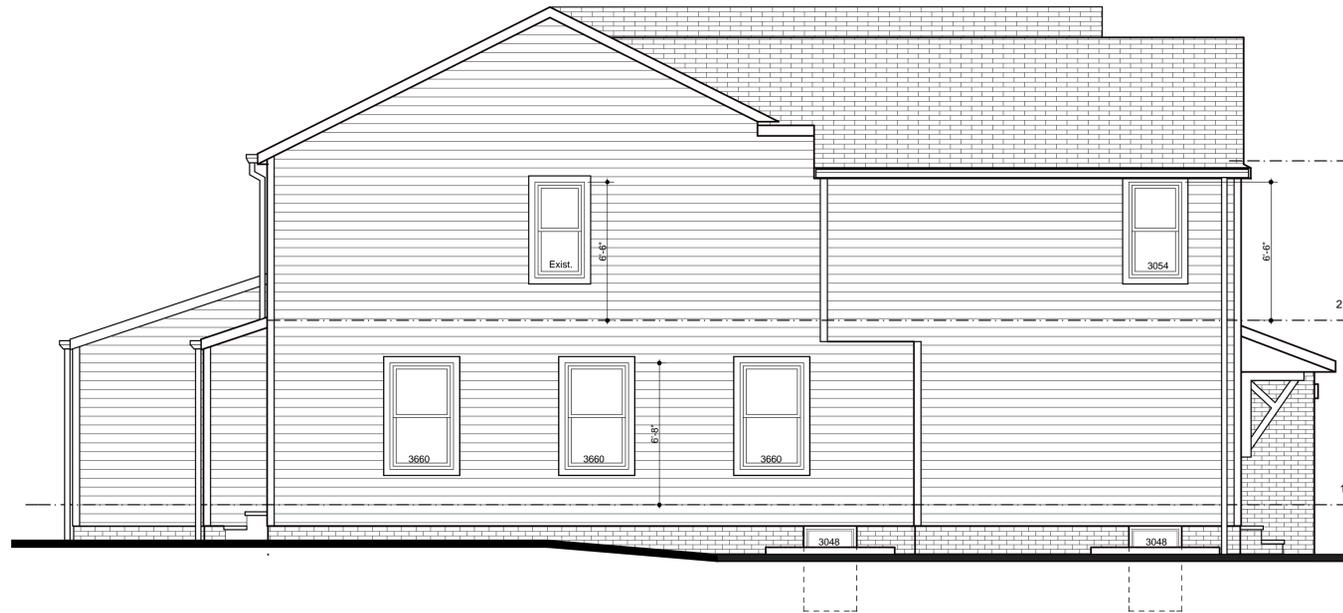
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2nd FLOOR PLANS
SCALE: 1/4" = 1'-0"

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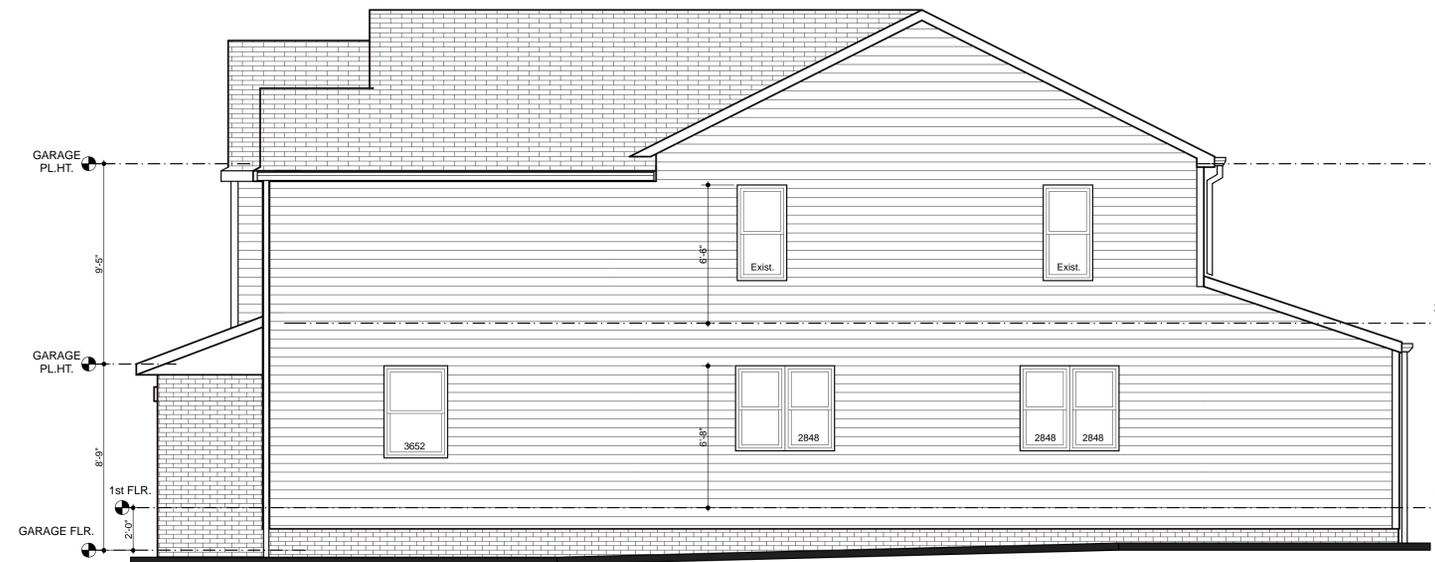
A-3



LEFT ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

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EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"
WALL SECTION
SCALE: 3/4" = 1'-0"

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A-5

HVAC & ELECTRICAL SYMBOL LEGEND	
	AIR SUPPLY
	RETURN AIR
	110 V. DUPLEX OUTLET
	110 V. GROUND FAULT CIRCUIT INTERRUPTER
	110 V. GARAGE DOOR OPENER
	SWITCH - SINGLE POLE: 3-WAY, 4-WAY, 5-WAY
	110 V. INCANDESCENT - RECESSED
	110 V. INCANDESCENT - CEILING MOUNTED
	110 V. CEILING FAN
	110 V. INCANDESCENT - WALL MOUNT
	110 V. EXHAUST FAN
	110 V. EXHAUST FAN W/ LIGHT
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR (PHOTOELECTRIC)

* ALL EXHAUST FANS TO TERMINATE IN EXTERIOR FITTING.

NOTE:
ELECTRICAL & HVAC PLANS ARE SCHEMATIC AND FOR BIDDING PURPOSES ONLY. OWNER TO SELECT AND COORDINATE FINAL ELECTRICAL FIXTURES TYPE AND LOCATION WITH **ELECTRICAL CONTRACTOR**;

HVAC PLANS WILL BE PROVIDED BY **HVAC CONTRACTOR**;
PLUMBING DRAWINGS WILL BE PROVIDED BY **PLUMBING CONTRACTOR**.

ELECTRICAL GENERAL NOTES

GUARANTEE
THE CONTRACTOR GUARANTEES BY HIS ACCEPTANCE OF THE CONTRACT THAT THE WORK INSTALLED WILL BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP, EQUIPMENT, MATERIALS, AND THAT ALL APPARATUS WILL DEVELOP CHARACTERISTICS SPECIFIED. IF ANY SUCH DEFECTS APPEAR WITHIN (1) ONE YEAR THE CONTRACTOR WILL, WITHOUT COST TO THE OWNER, REMEDY SUCH DEFECTS WITHIN A REASONABLE TIME, TO BE SPECIFIED IN NOTICE FROM THE OWNER. IN DEFAULT THEREOF, THE OWNER MAY HAVE SUCH WORK PERFORMED AND CHARGE THE COST TO THE CONTRACTOR. THE (1) ONE YEAR GUARANTEE PERIOD ON THE WORKMANSHIP AND EQUIPMENT OPERATION SHALL START FROM THE DATE OF APPROVED FINAL PAYMENT BY THE OWNER.

ELECTRICAL NOTES
FURNISH ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY FOR THE INSTALLATION OF ELECTRICAL SERVICE, AS SHOWN ON THE DRAWINGS, HEREIN SPECIFIED, OR OTHERWISE REQUIRED FOR A FINISHED AND COMPLETE PROJECT INCLUDING PANEL BOARDS, WIRING, RECEPTACLES, SWITCHES, LIGHTING FIXTURES, WIRING AND HOOK-UP TO EXHAUST FANS, CABLE TV OUTLETS, TELEPHONE JACKS, AND MECHANICAL EQUIPMENT.

INSTALL ALL WORK IN FULL COMPLIANCE WITH ALL LOCAL AND STATE CODES AND REGULATIONS, IN PARTICULAR THE CURRENT EDITION OF THE NATIONAL ELECTRIC CODE AND THE NATIONAL FIRE PROTECTION ASSOCIATION. OBTAIN ALL NECESSARY PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES, AS REQUIRED TO MEET MUNICIPAL AND UTILITY REQUIREMENTS.

DRILLING, BORING OR NOTCHING FOR THE INSTALLATION OF ELECTRICAL WORK MUST MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING. NOTCHING OR BORING OF JOISTS IN THE MIDDLE THIRD OF SPAN IS PROHIBITED.

ALL CIRCUITS EXCEPT KITCHEN & BATH TO BE ON ARC FAULT BREAKERS.
ALL ELECTRICAL OUTLETS TO BE TEMPER-RESISTANT
OUTLET REQUIREMENTS & SPACING TO BE APPROVED IN FIELD.

GFI OUTLETS AT KITCHEN AND BATHROOM COUNTERS TO BE MOUNTED CENTERLINE AT 44" A.F.F.

EXTERIOR AND GARAGE OUTLETS TO BE MOUNTED CENTERLINE AT 20" A.F.F. (CONC.)

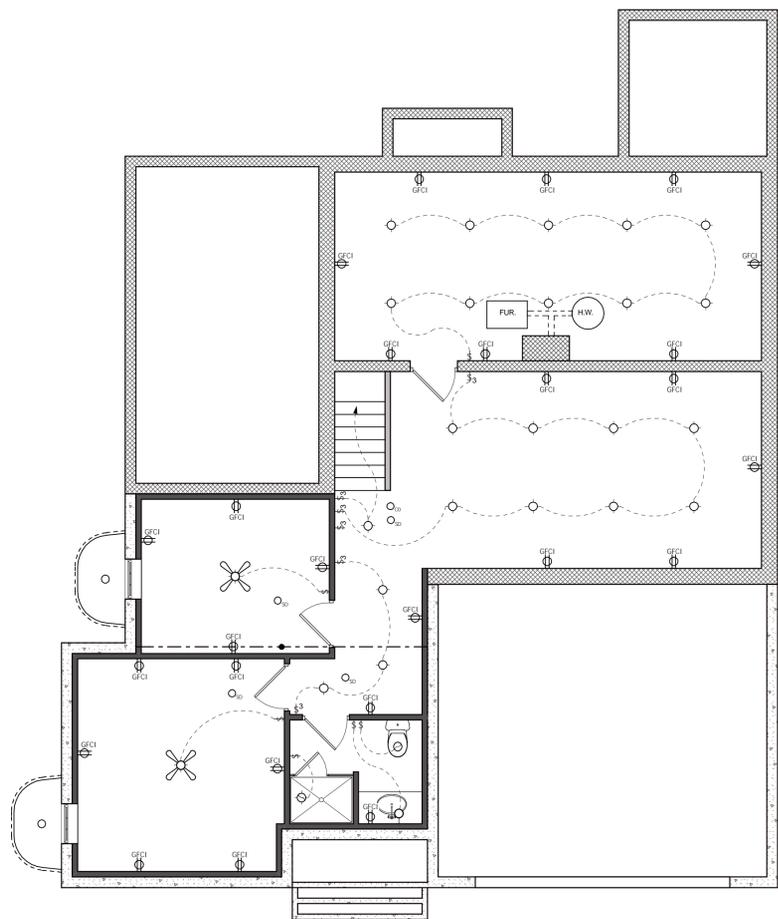
ALL OTHER OUTLETS TO BE MOUNTED 10" A.F.F.
LOCATION OF TV AND TELEPHONE JACKS TO BE VERIFIED BY OWNER.

SMOKE DETECTORS SHALL BE INSTALLED IN BEDROOMS, FOYER AND HALLS AT THE HIGHEST PART OF THE CEILING.

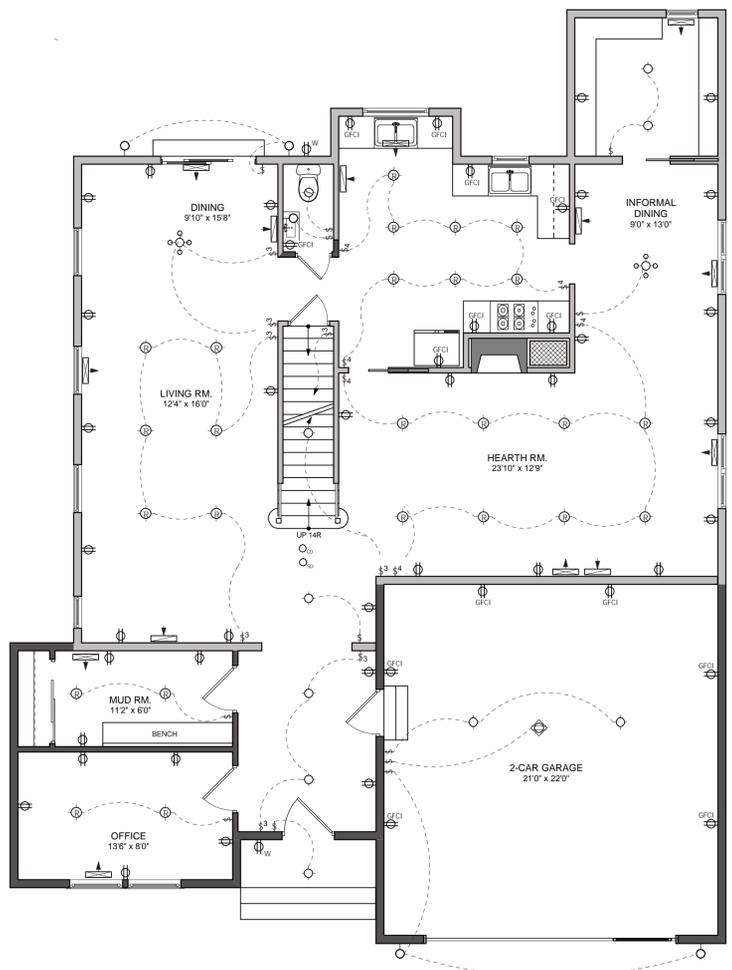
SMOKE DETECTORS SHALL BE INTERCONNECTED AND BATTERY BACKUP SHALL BE PROVIDED PER ORCO R313

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

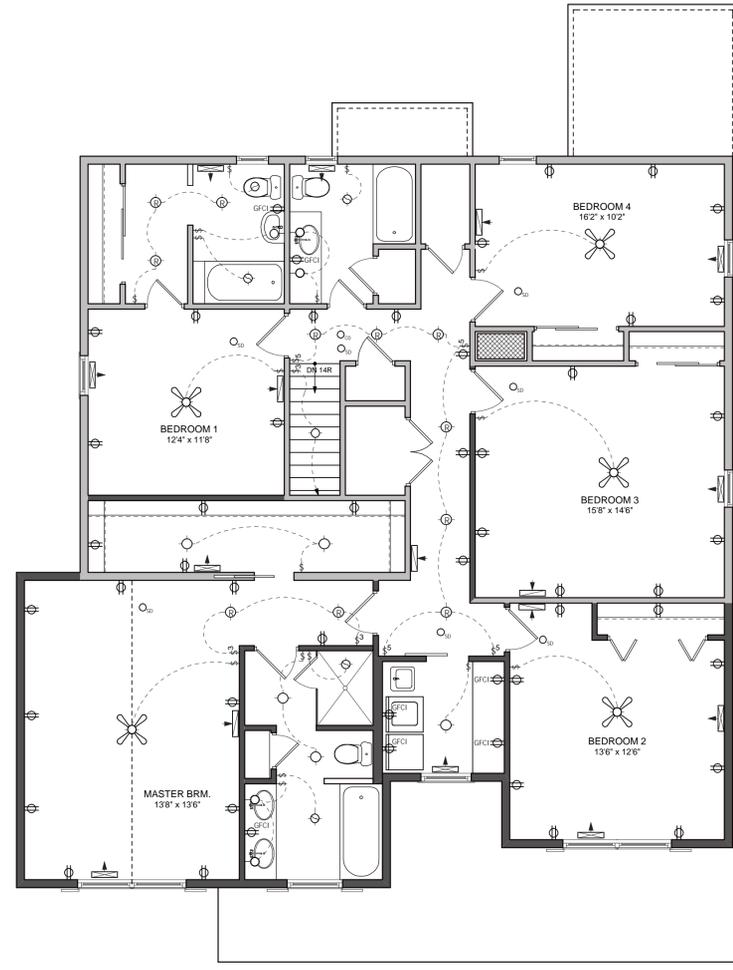
MAINTAIN PROPOSER CLEARANCE TO ALL ELECTRICAL DISCONNECTS.



FOUNDATION PLAN
SCALE: 3/16"=1'-0"



1st FLOOR PLAN
SCALE: 3/16"=1'-0"



2nd FLOOR PLAN
SCALE: 3/16"=1'-0"

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HVAC & ELECTRICAL SCHEMATIC PLANS
SCALE: 3/16" = 1'-0"

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AUGUST 27, 2024

M-1

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Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 16, 2024

RE: **P&Z 2024-31 Zachary Katz**
23203 Beachwood Boulevard
Front Setback Variance

This request is for site development plan approval for a two-story addition that includes a garage, mud room, and office on the first floor and bedrooms and bathroom on the second floor. The proposed addition requires a front yard setback variance. The property is zoned U-1 Single Family Residential District.

The subject property is pie shaped and narrows toward the rear of the lot, which reduces options for an addition. It is also a corner lot, and therefore has larger side yard setback requirements. It appears that the applicant has made a concerted effort to fit the addition within the buildable area of the lot. The Code requires a minimum front yard setback of 35 feet. The applicant's plan shows a front setback of 31.5 feet, which would require a variance of 3.5 feet. The need for the variance is driven by the depth of the garage. The proposed depth of the garage would be 22 feet, which is a standard depth to adequately accommodate vehicles. The location of the garage is dictated by the location of the existing dwelling. The garage could not be shifted without substantially impacting the dwelling. Reducing the depth of the garage to meet the Code requirement would substantially reduce its functionality. The size of the variance is relatively modest. It appears that there is a genuine practical difficulty with meeting the Code requirement.

The Commission has final authority to either grant or deny this variance request. Should the Commission decide to grant the variance, it should be subject to the following findings and stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.04(a) with regard to front yard setbacks.
2. Granting a variance of 3.5 feet to Section 1113.04(a) permit a front yard setback of 31.5 feet in lieu of the Code required 35 feet.



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MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 7

P & Z 2024-31 Zachary Katz, property owner, is requesting a 3'-5" front yard setback variance for a garage addition at 23203 Beachwood Blvd., in accordance with BCO Section 1113.04, Location of Building Line.

There are no Engineering Comments for this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-31 23203 Beachwood Blvd. (Addition)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: Aug. 28, 2024

OWNER OF BUILDING: James & Linda Ross PHONE: 440-725-4444

STREET ADDRESS: 2638 Deborah Drive

CITY/STATE/ZIP: Beachwood, Ohio 44122

APPLICANT: Michael A. Bonner, Architect PHONE: 440-739-9009

COMPANY OR FIRM: Michael A. Bonner Architect, Inc.

EMAIL: michael@mabarch.com

STREET ADDRESS: 9570 Kinsman Road

CITY/STATE/ZIP: Novelty, Ohio 44072

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Linda Ross jamesross57@yahoo.com

Michael Bonner michael@mabarch.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 2638 Deborah Drive SUITE # _____

TENANT NAME: James & Linda Ross

PERMANENT PARCEL # 7411-7012- PRESENT USE: residence PROPOSED USE: residence

PURPOSE OF APPLICATION: sideyard setback variance to be reduced from 12'-0" to 10'-0"

so that a new garage / laundry room addition can be added

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

The existing garage is too narrow for two cars. The additional width is needed

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

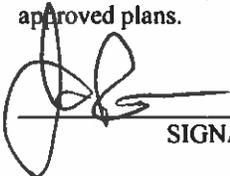
Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

James Ross
PRINTED NAME

29-AUG-'24
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. 2024-32 MEETING DATE: 9/26/24

FEE: RECEIPT # 2024-06341 AMOUNT \$ 335 DATE PAID 8/30/24

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
Brian Roenigk, Building Commissioner
Phone (216) 292-1914 • Fax (216) 292-1917

APPLICANT: Linda and James Ross

P&Z:	ZONING DATA		DATE:
ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT			
MINIMUM LOT AREA			
MINIMUM LOT FRONTAGE			
MINIMUM FRONT YARD BUILDING SETBACK			
MINIMUM SIDE YARD BUILDING SETBACK	12 FEET	10 FEET	
MINIMUM REAR YARD BUILDING SETBACK			
MAXIMUM BUILDING HEIGHT			
MINIMUM LANDSCAPED AREA			
MINIMUM PARKING SETBACKS	Front = Side = Rear =	Front = Side = Rear =	
MINIMUM DRIVE AISLE			
MINIMUM PARKING STALL			
MINIMUM OFF-STREET PARKING			
SITE DEVELOPMENT PLANS			

Primary Owner

ROSS, JAMES & LINDA

Property Address

2638 Deborah DR Beachwood,OH 44122

Tax Mailing Address

James Ross 2638 Deborah Dr BEACHWOOD, OH 44122

Description

18 FAIRMT PKEST 0037 ALL

Property Class

SINGLE FAMILY DWELLING

Parcel Number

741-17-012

Taxset

Beachwood

Tax Year

2023 Pay 2024

Summary By Tax Year 2023 Pay 2024

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Assessed Values

Land Value	\$34,270
Building Value	\$65,700
Total Value	<u>\$99,970</u>
Homestead Value	\$

Market Values

Land Value	\$97,900
Building Value	\$187,700
Total Value	<u>\$285,600</u>

Flags

Owner Occu
Homestead
Foreclosure
Cert. Pendl
Cert. Sold
Payment Pla

Half Year Charge Amounts

Gross Tax	\$6,083.67
Less 920 Reduction	\$2,802.12
Sub Total	\$3,281.55
Non-business Credit	\$243.88
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	\$67.50
Half Year Net Taxes	<u>\$3,105.17</u>

Rates

Full Rate	123.26
920 Reduction Rate	.454801
Effective Rate	67.201265

Escrow

Escrow
Payment Arr

Charges

\$6,210.34

Payments

\$6,210.34

Tax Balance Sur

Balance Due

\$.00

2023 (pay in 2024) Charge and Payment Detail

Taxset

Beachwood

Charge Type

1st half tax
1ST HALF BALANCE
2nd half tax
2ND HALF BALANCE

C100030C-SEWER MAINTENANCE

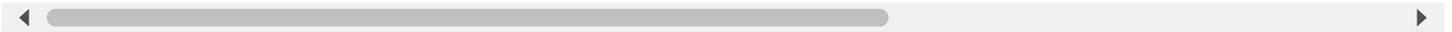
1st half tax - 2023
1ST HALF BALANCE
2nd half tax - 2023
2ND HALF BALANCE

C100030S-Sewer Maintenance

1st half tax - 2023
1ST HALF BALANCE
2nd half tax - 2023
2ND HALF BALANCE

Total Balance

Amount Due (may include interest as of current date)



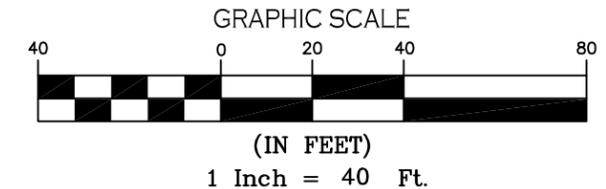
RESURVEY, PERMANENT PARCEL NUMBER
741-17-012
FOR
ROSS, JAMES & LINDA

INSTRUMENT# 200410210489 OF CUYAHOGA COUNTY RECORDS

SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, AND STATE OF OHIO: AND KNOWN AS BEING SUBLOT No. 37 IN THE FAIRMOUNT PARK ESTATES SUBDIVISION OF PART OF ORIGINAL WARRENSVILLE TOWNSHIP Nos. 9, 18, AND 19, AS SHOWN BY RECORDED PLAT VOLUME 149 OF MAPS, PAGE 38 OF CUYAHOGA COUNTY RECORDS.

NOTES:

- BOUNDARY LINES WERE ESTABLISHED USING EXISTING BOUNDARY MONUMENTATION, DEEDS AND MAPS OF RECORD AT THE CUYAHOGA COUNTY ENGINEER'S AND RECORDER'S OFFICE.
- THE INTENT OF THIS SURVEY IS TO REESTABLISH THE BOUNDARY LINES OF THE SUBJECT PROPERTIES - 741-17-012.
- THE STRUCTURES SHOWN AND THEIR DIMENSIONS ARE BASED ON THE CUYAHOGA COUNTY AUDITOR'S WEBSITE.



Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject property: easements, other than possible that were visible at the time of making this survey; building setback lines; restrictive covenants; subdivision restriction, zoning or other land use regulations; and any other facts that on accurate and current title search may disclose.

- = IRON PIN, REBAR OR PIPE FOUND
- = MONUMENT BOX WITH IRON PIN, REBAR, PIPE OR STONE AS FOUND
- ⊙ = 5/8" IRON REBAR SET, 30" IN LENGTH (ID KOLAT #8702)

BASIS OF BEARINGS ON THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3401), NAD 83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER O.D.O.T. RTN (REAL TIME NETWORK).

CALC = CALCULATED
REC = RECORD
BNT = BENT

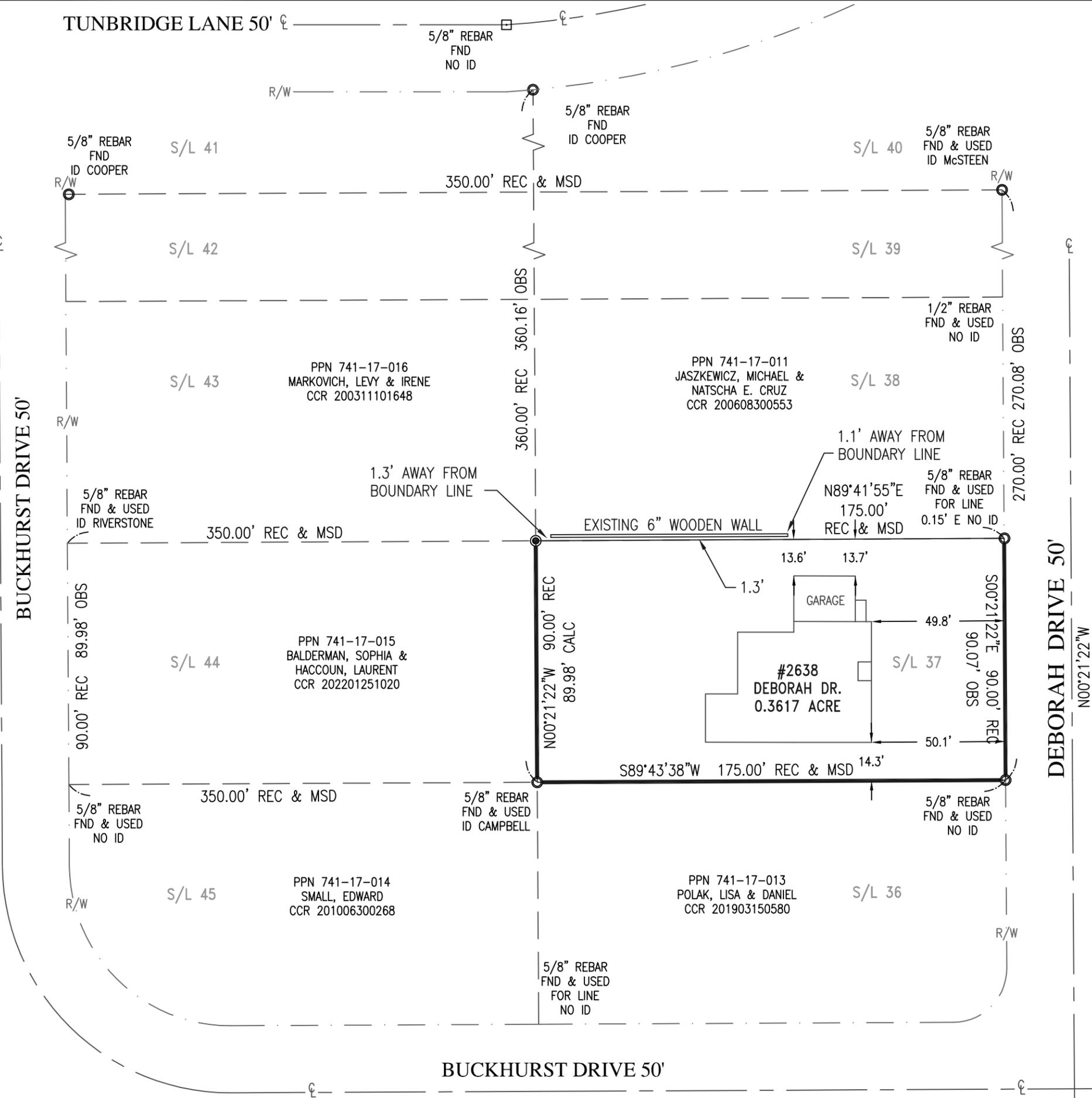
MSD = MEASURED
OBS = OBSERVED

Joseph R. Kolat 5/26/2024
DATE

JOSEPH R. KOLAT, P.S. #8702
SYTE SERVICES, LTD. MENTOR, OHIO 44060
SYTESERVICES.COM 440.497.7275
Joe@syteservices.com

DATE OF SURVEY: 3/ 22/ 2024

THIS PLAT WAS PREPARED FROM A SURVEY DONE UNDER MY DIRECTION AND CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN THE STATE OF OHIO (OAC 4733-37). ALL IRON PINS SET BEAR CAPS INSCRIBED (KOLAT #8702). DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF, ALL OF WHICH I ACKNOWLEDGE TO BE CORRECT.



P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 16, 2024

RE: **P&Z 2024-32 James and Linda Ross
2638 Deborah Drive
Side Setback Variance**

This request is for site development plan approval for a one-story addition that includes a laundry room, storage area, and garage which requires a side yard setback variance. The property is zoned U-1 Single Family Residential District.

The applicant currently has a rear load garage and is proposing to convert to a front load garage. The variance is driven by the garage width. The applicant is proposing to construct a two-car garage that would be 21 feet in width. That is a conventional garage width that allows for reasonable two car use. Obviously, the garage cannot be shifted further from the property line without substantially impacting the existing dwelling. Based on the width of the lot, the Code requires a minimum side yard setback of 12 feet. The applicant is seeking a variance of 2 feet to place the garage at 10 feet from the side lot line. It appears that the variance is necessary to provide for a functional garage. The amount of the variance is modest and results from the location of the current dwelling. It appears that there is practical difficulty.

The Commission has final authority to either grant or deny this variance request. Should the Commission decide to grant the variance, it should be subject to the following findings and stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.05 with regard to side yard setbacks.
2. Granting a variance of 2 feet to Section 1113.05 permit a side yard setback of 10 feet in lieu of the Code required 12 feet.



Cleveland Office
5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 8

P & Z 2024-32 James and Linda Ross, property owners, are requesting a 2' side yard setback variance for a northern addition at 2638 Deborah Drive, in accordance with BCO Section 1113.05, Side Yards.

There are no Engineering Comments for this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-32 2638 Deborah Dr. (Variance)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief



25325 Fairmount Blvd • Beachwood, Ohio 44122

Phone (216) 292-1914 • Fax (216) 292-1917

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 08/28/2024

OWNER OF BUILDING: Adler, Banafsheh Kabiri Trustee

PHONE: 216-272-8018

STREET ADDRESS: 26930 Hurlingham Rd

CITY/STATE/ZIP: Beachwood Ohio 44122

APPLICANT: Daniel Gomillion

PHONE: 440-478-7571

COMPANY OR FIRM: Burning River Builders

EMAIL: Dan@burningriverbuilders.com

STREET ADDRESS: 7003 Dominion Lane

CITY/STATE/ZIP: Lakewood Ranch Florida 34202

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Jessica Palmieri Jpalmierihomes@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 26930 Hurlingham Rd. Beachwood Ohio 44122

SUITE # _____

TENANT NAME: _____

PERMANENT PARCEL # 741 - 35 - 005 PRESENT USE: Residentia PROPOSED USE: Residentia

PURPOSE OF APPLICATION: Split Existing Lot and construct new residence on one of the new lots after the split

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (must indicate a hardship):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
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- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

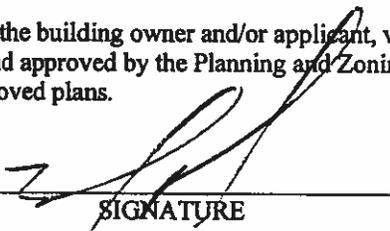
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A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
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(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Richard Adler
PRINTED NAME

8/28/24
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. 2024-34 MEETING DATE: 9/26/24
 FEE: RECEIPT # 2024-06302 AMOUNT \$ 1,535 DATE PAID 8/29/24

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____



Manufactured Home Current Tax balance (2024 pay 2024) is available by clicking the "Pay Your Taxes Online" link below.

Search
 City Search By Owner
 Parcel Address

PROPERTY DATA

- General Information
- Transfers
- Values
- Land
- Building Information
- Building Sketch
- Other Improvements
- Permits
- Property Summary Report

Primary Owner ADLER, BANAFSHEH KABIRI TRUSTEE
Property Address 26930 Hurlington Beachwood, OH 44122
Tax Mailing Address ADLER, BANAFSHEH KABIRI TRUSTEE 26930 HURLINGTON Rd BEACHWOOD, OH 44122
Description 30 74135006
Property Class SINGLE FAMILY DWELLING
Parcel Number 741-35-005
Taxset Beachwood
Tax Year 2023 Pay 2024

Summary By Tax Year 2023 Pay 2024

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

TAXES

- Tax By Year
- Pay Your Taxes Online

Assessed Values	Market Values	Flags
Land Value \$57,090	Land Value \$163,100	Owner N
Building Value \$52,680	Building Value \$150,500	Occupancy Credit
Total Value \$109,770	Total Value \$313,600	Homestead Reduction N
Homestead Value		Foreclosure Cert. Pending N

LEGAL RECORDINGS

- Get a Document List

Half Year Charge Amounts	Rates	Flags
Gross Tax \$6,680.00	Full Rate 123.26	Payment Plan N
Less 920 Reduction \$3,076.80	.454801	
Sub Total \$3,603.20	Rate	
Non-business Credit \$267.79	Effective Rate 67.201265	Escrow Payment \$0.00

ACTIVITY

- Informal Reviews
- Board of Revisions Cases

Owner	\$.00	Amount
Occupancy Credit		
Homestead Reduction	\$.00	
Total Assessments	\$186.00	
Half Year Net Taxes	\$3,521.45	

	Charges	Payments	Balance Due
Tax Balance Summary	\$7,042.90	\$7,042.90	\$.00

2023 (pay in 2024) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$3,335.45	\$3,335.45	\$.00
	1ST HALF BALANCE	\$3,335.45	\$3,335.45	\$.00
	2nd half tax	\$3,335.45	\$3,335.45	\$.00
	2ND HALF BALANCE	\$3,335.45	\$3,335.45	\$.00
C100030C-SEWER MAINTENANCE				
	1st half tax - 2023	\$93.00	\$93.00	\$.00
	1ST HALF BALANCE	\$93.00	\$93.00	\$.00
	2nd half tax - 2023	\$93.00	\$93.00	\$.00
	2ND HALF BALANCE	\$93.00	\$93.00	\$.00
C100030S-Sewer Maintenance				
	1st half tax - 2023	\$93.00	\$93.00	\$.00
	1ST HALF BALANCE	\$93.00	\$93.00	\$.00
	2nd half tax - 2023	\$93.00	\$93.00	\$.00
	2ND HALF BALANCE	\$93.00	\$93.00	\$.00
				Balance

	Charges	Payments	Due
Total Balance	\$7,042.90	\$7,042.90	\$0.00
Amount Due (may include interest as of current date)			\$0.00

[View Map](#)

Updated :08/28/2024 03:45:29 AM

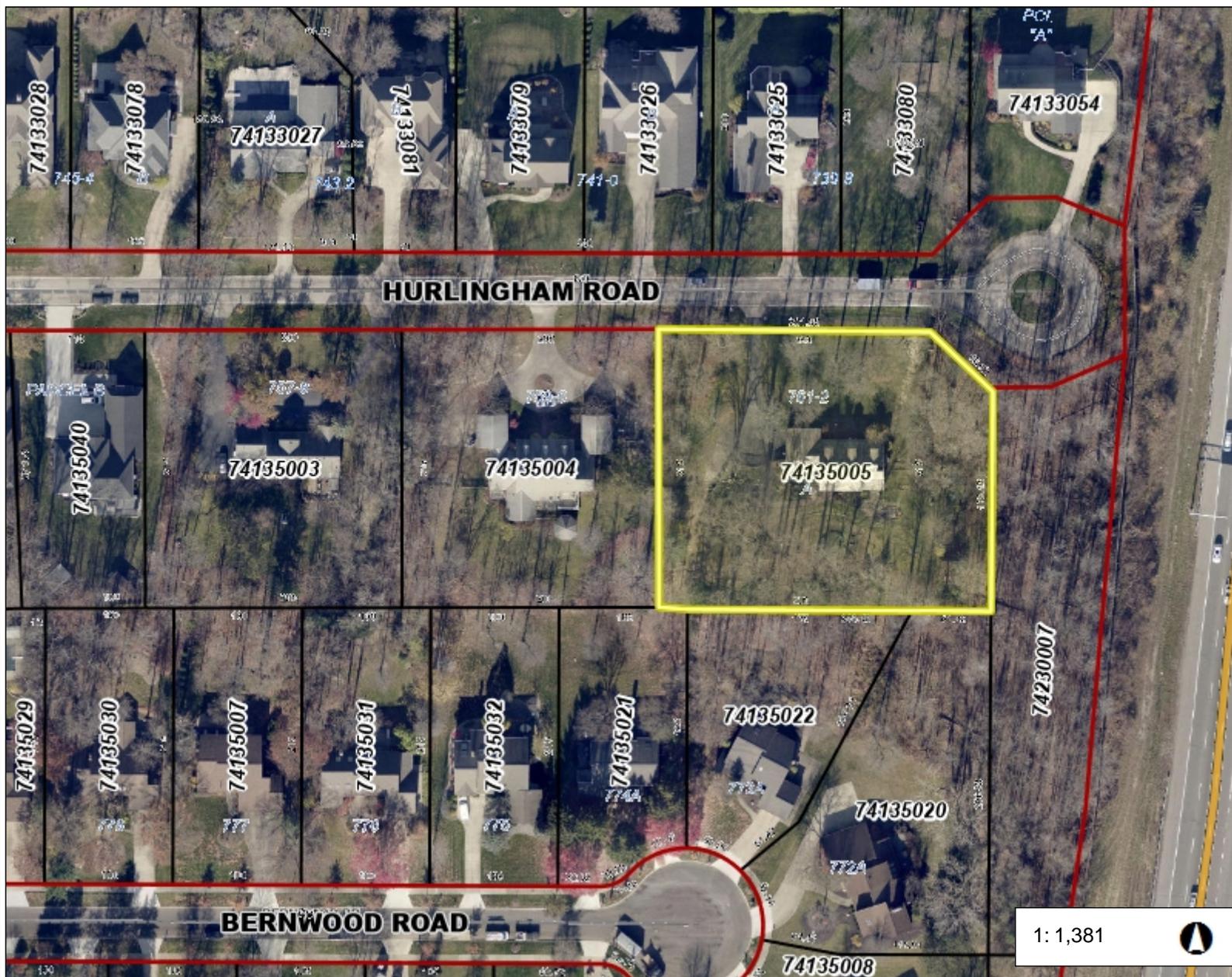
Disclaimer: Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLACE SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU



Cuyahoga County GIS Viewer



Date Created: 8/29/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel
- Private Road

230 0 115 230 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

OWNERS ACCEPTANCE

LUKE & CLAIRE REARDON, THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS PLAT OF LOT SPLIT AS SHOWN.

LUKE REARDON _____

CLAIRE REARDON _____

COUNTY OF CUYAHOGA } SS

STATE OF OHIO }

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED LUKE & CLAIRE REARDON, WHO ACKNOWLEDGED THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME WAS THEIR FREE ACT AND DEED IN TESTIMONY WHEREOF, I HAVE HEREBY SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT _____ OHIO, THIS _____ DAY OF _____, 2024.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

**PLAT OF LOT SPLIT
FOR
LUKE & CLAIRE REARDON**

SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL WARRENSVILLE TOWNSHIP LOT NO. 30 AND FURTHER KNOWN AS BEING ALL OF PARCEL A AS SHOWN ON THE PLAT OF CONSOLIDATION FOR WAYNE W. CLARK, AS RECORDED IN VOLUME 281, PAGE 31 OF CUYAHOGA COUNTY MAP RECORDS.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733.27 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS EXPRESSED ARE BASED ON THE US SURVEY FOOT AND ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATES, NORTH ZONE, NAD83, NAD83 (OAKS 2012A) ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE, DATE OF SURVEY MARCH, 2024.

Joseph Gutoskey, P.S.
JOSEPH GUTOSKEY, P.S. No. 7987 DATE _____



APPROVALS

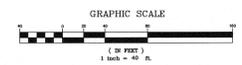
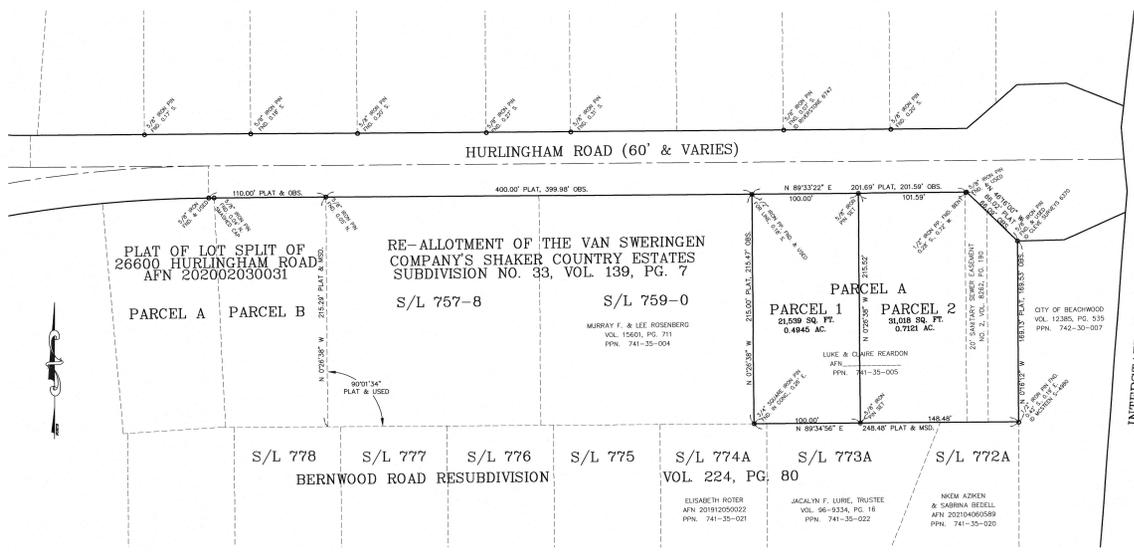
THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20__.

CHAIRMAN PRINT NAME _____

SECRETARY PRINT NAME _____

THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE CITY ENGINEER OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20__.

JOSEPH R. CUNN, CITY ENGINEER



LEGEND
○ IRON PIN/PIN/PEAK/IRON FOUND (AS NOTED)
● 5/8" DIA. BY 30" LONG CAPPED IRON PIN SET I.D. GUTOSKEY PS 7567
■ MONUMENT BOX (AS NOTED)
RESURVEYED:
DEEDS AND PLATS AS SHOWN HEREON.

GUTOSKEY & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS AND LAND PROFESSIONALS
1026 GUTENBERG PARKWAY SUITE 4 CLEVELAND, OHIO 44102 TEL (440) 545-8660 FAX (440) 545-8660
CONTRACT No. 24-4083

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 16, 2024

RE: **P&Z 2024-34** **Burning River Builders**
Banafsheh Adler, Trustee
26930 Hurlingham
Lot Split Plat

This request is for both preliminary and final approval of a lot split plat. The property is zoned U-1 Single Family Residential District. The property is also in the A-1 Area District, which requires a minimum lot area of 18,000 square feet and a minimum lot width of 100 feet. The applicant is proposing to split the existing into two parcels. Proposed Parcel 1 would be 100 feet in width and would have an area of 21,539 square feet. Proposed Parcel 2 would be 148 feet in width and would have an area of 31,018 square feet. Both proposed lots would comply with the minimum requirements for lots in the U-1, A-1 District.

There is an existing dwelling on the subject parcel. Unless that dwelling is removed, splitting lot as proposed will create several non-conformities. Should the Commission determine to grant approve of the lot split, the following stipulations are recommended:

1. That approval is conditioned on removal of the existing dwelling, which shall be accomplished prior to recording the plat.
2. Compliance with any comments and recommendations of the City Engineer.



Cleveland Office
5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 9

P & Z 2024-34 Daniel Gomin, Burning River Builders, on behalf of Banafsheh K. Adler, Trustee, property owner, is requesting preliminary and final approval of a lot split for PPN 741-35-005, 26930 Hurlingham Road.

The Lot Split meets all County and City Standards, and we hereby recommend approval. Please note this Lot Split cannot be recorded until the existing house is removed.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 34 26930 Hurlingham Rd. (Lot Split)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 9/4/24

OWNER OF BUILDING: Jacqueline Harrison PHONE: 216-650-1912

STREET ADDRESS: 21819 halworth dr

CITY/STATE/ZIP: Beachwood ohio 44122

APPLICANT: Seth Harrison PHONE: 216-313-0126

COMPANY OR FIRM: _____

EMAIL: Harrison440@yahoo.com

STREET ADDRESS: 2290 richmond

CITY/STATE/ZIP: Beachwood ohio 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Seth Harrison "harrison440@yahoo.com"

DESCRIPTION OF THE PROPERTY:

ADDRESS: 21819 halworth dr SUITE # _____

TENANT NAME: Seth Harrison

PERMANENT PARCEL # 742 .08 .090 PRESENT USE: Living PROPOSED USE: Living

PURPOSE OF APPLICATION: To finish the walkway around the house. The inspector said that it Over by 250 ft.² □

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other Variance
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

to complete the walkway around the house for a cleaner look and to keep water away from f

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. No

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.



 SIGNATURE

Seth Harrison

 PRINTED NAME

9/4/24

 DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____ Date Final Approval: _____ Date

Recommendation to Council: YES NO Meeting Date: _____



Cuyahoga County GIS Viewer



Date Created: 9/5/2024

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel
- Private Road

115 0 58 115 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

21819 Halworth RD



5' WALK WAY
Around the
House

10' x 15'
PATIO Connecting
To Side
WALK

~~Replace Damaged Portion~~
of ~~Driveway~~ + install 5' walkway
Around House From Front to rear
Garage Door.



P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 17, 2024

RE: **P&Z 2024-35** **Seth and Jacqueline Harrison**
21819 Halworth Road
Hardscape Variance

This request is for approval of a variance to install impervious or hardscape improvements that exceed the maximum permitted by Code. The property is zoned U-1 Single Family Residential District. Section 1146.03(c) limits the amount of hardscape, parking areas, and driveways in U-1 Districts to not more than fifteen percent (15%) of the total lot area. In this instance, the subject lot is 10,200 square feet in area, so the permitted hardscape or impervious area is 1,530 square feet.

The applicant has a driveway and walkway that total 1,459 square feet. They are requesting approval to install an additional 417.5 square feet of hardscape in the form of walkways and patios. That would make the total hardscape 1,876.5 square feet and would require a variance of 346.5 square feet or approximately 23%. As noted from the pictures of the forms, installation of the additional hardscape was started prior to obtaining a permit. Given the City's historic issues regarding storm water management, and the Commission's recent positions regarding variances for driveway and patio expansions, a 23% increase in permitted impervious area seems substantial. There do not appear to be any unique circumstance associated with the subject site that would differentiate it from other lots in the general area. The fact that the excavation and forming for concrete has been done, is a self-created circumstance that cannot be considered when determining practical difficulty.

The Commission has final authority to either grant or deny this variance request. There does not appear to be sufficient evidence to warrant a finding of practical difficulty in this instance and approval is not recommended. Should the Commission decide to grant the variance, it should be subject to the following findings and stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section

P&Z 2024-35
Seth and Jacqueline Harrison
21819 Halworth Road
Hardscape Variance
September 17, 2024
Page 2

- 1141.15(c) with regard to maximum permitted hardscape on a lot.
2. Granting a variance of 346.5 square feet to Section 1141.15(c) to permit a total hardscape area of 1,876.5 square feet in lieu of the Code permitted 1,530 square feet.



Cleveland Office
5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 10

P & Z 2024-35 **Seth Harrison, on behalf of Jacqueline Harrison, property owner, is requesting a 336.5' hardscape variance for concrete at 21819 Halworth Road, in accordance with BCO Section 1146.03 (C), Landscape of Residential Lots.**

We continue to recommend against variances for hardscape coverage. The storm water runoff impacts for more hardscape contributes to more flooding downstream.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-35 21819 Halworth Rd (Variance)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

INTRODUCED BY:

ORDINANCE NO. 2024-63

AN ORDINANCE REZONING 2555 EDGEWOOD DRIVE, BEACHWOOD, OHIO 44122 (PPN# 741-08-036) AND 2561 EDGEWOOD DRIVE, BEACHWOOD, OHIO 44122 (PPN# 741-08-037) FROM U-1 SINGLE FAMILY RESIDENTIAL DISTRICT TO U-5 PUBLIC AND INSTITUTIONAL DISTRICT

WHEREAS, Bais Avrohom Congregation has requested the rezoning of 2555 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-036) and 2561 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District; and

WHEREAS, Council must refer such requested rezonings to the City's Planning and Zoning Commission for study, a report and a recommendation in accordance with Beachwood Codified Ordinance Section 1107.01.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio, that:

Section 1: The Council of the City of Beachwood, having received a request for the rezoning of 2555 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-036) and 2561 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District, places this issue and said rezoning on first reading, and refers the proposed rezoning to the Planning and Zoning Commission for its study, report and recommendation.

Upon Council's receipt of the recommendation of the Planning and Zoning Commission, the issue of rezoning of 2555 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-036) and 2561 Edgewood Drive, Beachwood, Ohio 44122 (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District shall be set for a public hearing and/or referred to a Committee of Council for consideration.

If referred to a public hearing, said public hearing shall be held no less than 30 days after the Planning and Zoning Commission's referral back to Council of its recommendation.

If referred to a Committee of Council, a public hearing shall be set after Council's receipt of the report of the Committee.

This Ordinance shall be read by Council on three separate occasions and if it is passed, the proposed rezoning shall become effective upon the operation of law.

Section 2: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

ORDINANCE NO. 2024-63

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the ____ day of _____, 2024 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the ____ day of _____, 2024.

Clerk

Approval: I have approved this legislation this ____ day of _____, 2024 and filed it with the Clerk.

Mayor



25325 Fairmount Blvd • Beachwood, Ohio 44122

Phone (216) 292-1914 • Fax (216) 292-1917

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 7/18/2024

OWNER OF BUILDING: 2555 Edgewood Drive LLC, RIK Enterprises LLC PHONE: 216-242-7192

STREET ADDRESS: 2555 Edgewood Dr & 2561 Edgewood Dr

CITY/STATE/ZIP: Beachwood, Ohio 44122

APPLICANT: Bais Avrohom (DBA) PHONE: 216-924-1162

COMPANY OR FIRM: Bais Avrohom Congregation

EMAIL: akivashawel@gmail.com

STREET ADDRESS: 2555 Edgewood Dr

CITY/STATE/ZIP: Beachwood, Ohio 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Rabbi Nissim Abrin (Rabbi), Aaron Evenchik (Attorney), Akiva Shawel (representative), not limited to, nissimabrin@gmail.com, aevenchik@hahnlaw.com, akivashawel@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 2555 Edgewood Dr & 2561 Edgewood Dr. Beachwood, Oh 44122 SUITE # _____

TENANT NAME: Bais Avrohom Congregation

PERMANENT PARCEL # 741-08-036 & 741-08-037 PRESENT USE: U1 Residential Dwelling PROPOSED USE: U5 Public & Institutional District

PURPOSE OF APPLICATION: Rezone from residential to congregational use

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

To accommodate for congregational needs and parking requirements

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

***** (OVER) CONTINUED ON BACK*****

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Akiva Shawel, representative
PRINTED NAME

7/18/2024
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

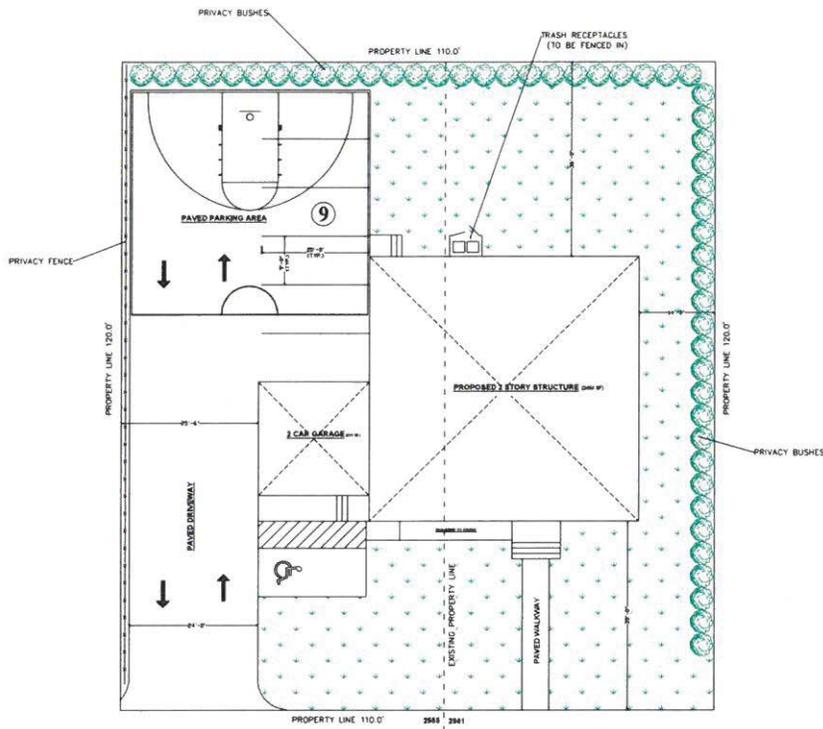
FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

Building Department
William Griswold, Building Commissioner
Phone (216) 292-1914 • Fax (216) 292-1917



LOCATION			
370-251 EDGEWOOD ROAD (CITY OF BEACHWOOD, OHIO)			
ZONE: UH1A	REARSET	REARSET	13,300 SF
COMBINED LOT AREA	R1A	REARSET	13,300 SF
COMBINED LOT AREA	R1A	REARSET	13,300 SF
FRONT SETBACK	20' FT	REAR SETBACK	20' FT
REAR SETBACK (LINE SIDE)	10' FT	REAR SETBACK (CORNER)	20' FT
REAR SETBACK (CORNER)	20' FT	REAR SETBACK (CORNER)	20' FT
MAX FLOOR AREA	300 SF	MAX FLOOR AREA	300 SF
MAX FLOOR AREA	300 SF	MAX FLOOR AREA	300 SF
(1.5 X BUILDING AREA)	450 SF	MAX BALDING HEIGHT	20' FT
MAX BALDING HEIGHT	20' FT	MAX BALDING HEIGHT	20' FT

DATE: 05-13-21

FELDMAN ARCHITECTS
FELDMAN

PRELIMINARY BUILDING PLAN FOR
CONG. BAIS AMBULANCE
2555 EDGEWOOD ROAD
BEACHWOOD, OHIO

S1

SHEET 1 OF 1

SCALE: 1/4" = 1'-0"

PRELIMINARY BUILDING PLAN for: CONG. BAIS AVROHOM

BEACHWOOD, OHIO

PROJECT INFORMATION

DESCRIPTION

NEW CONSTRUCTION, TWO STORY STRUCTURE

SITE

350-261 BEACHWOOD ROAD
BEACHWOOD, OHIO

APPLICABLE BUILDING CODE

IBC 2015 CODE EDITION
CITY OF BEACHWOOD ORDINANCES

USE GROUP

1-3

CONSTRUCTION TYPE

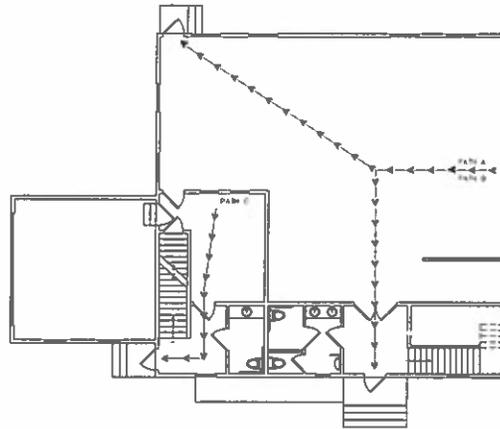
A-B

SQUARE FOOTAGE CALCULATIONS

FIRST FLOOR AREA	3,600 SF
FIRST FLOOR VOLUME	11,900 CF
SECOND FLOOR AREA	1,166 SF
SECOND FLOOR VOLUME	11,294 CF
GARAGE AREA	411 SF
GARAGE VOLUME	666 CF
TOTAL LIVING AREA	6,177 SF
TOTAL VOLUME	47,862 CF

OCCUPANCY LOAD

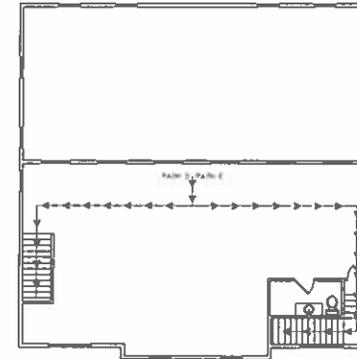
FIRST FLOOR	
APPROX. 10 NPTS	101
LIBRARY (40 NPTS)	3
SECOND FLOOR	
APPROX. 10 NPTS	74
GARAGE (200 GROUP)	3
TOTAL OCCUPANCY	181



1 FIRST FLOOR SAFETY PLAN
SCALE 1/8" = 1'-0"

TRAVEL DISTANCE	
STARTING POINT	TOTAL DISTANCE
PATH A	50'-0"
PATH B	45'-7"
PATH C	29'-8"
PATH D	44'-5"
PATH E	60'-2"

NOTE: PATHS SHOWN ARE TO REPRESENT COMPLIANCE FOR THE FARTHEST TRAVELING DISTANCE.



2 SECOND FLOOR SAFETY PLAN
SCALE 1/8" = 1'-0"

MEANS OF EGRESS		
ELEMENT	REQ'D	PROV'D
DOORS	8 1/2" FOR OCCUPANT FOR 1A MEANS OF EGRESS OR STAIRS @ 0.2" @ OTHER	36" MINIMUM
TRAVEL DIST	200 FT MAX	(NOT PROVIDED)
TOTAL EGRESS PER UNIT	2 EGRESS REQUIRED	3 EGRESS PROVIDED

DATE: 05-12-21

David M. Feldman, P.E., AIA
10700 W. 12th St., Suite 200
West Chester, OH 45387
Tel: 513-633-1100 Fax: 513-633-1101
www.feldmanarchitects.com



PRELIMINARY BUILDING PLAN FOR
CONG. BAIS AVROHOM
25501 BEACHWOOD ROAD
BEACHWOOD, OHIO

PROJECT INFORMATION &
LIFE SAFETY PLANS

SCALE AS NOTED

Drawn BY: ED

SHEET 1 OF 3

P1

Revisions published by the architect are a representation of the work for which the architect is responsible. This includes the design of the building and the preparation of the construction documents. The architect does not warrant the accuracy of the information provided in this document.



1 FRONT ELEVATION
SCALE 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"



3 REAR ELEVATION
SCALE 1/4"=1'-0"



4 LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"

05-13 20-12-22

FIELDMAN ARCHITECTS
1000 W. 10TH ST. SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.FIELDMANARCHITECTS.COM



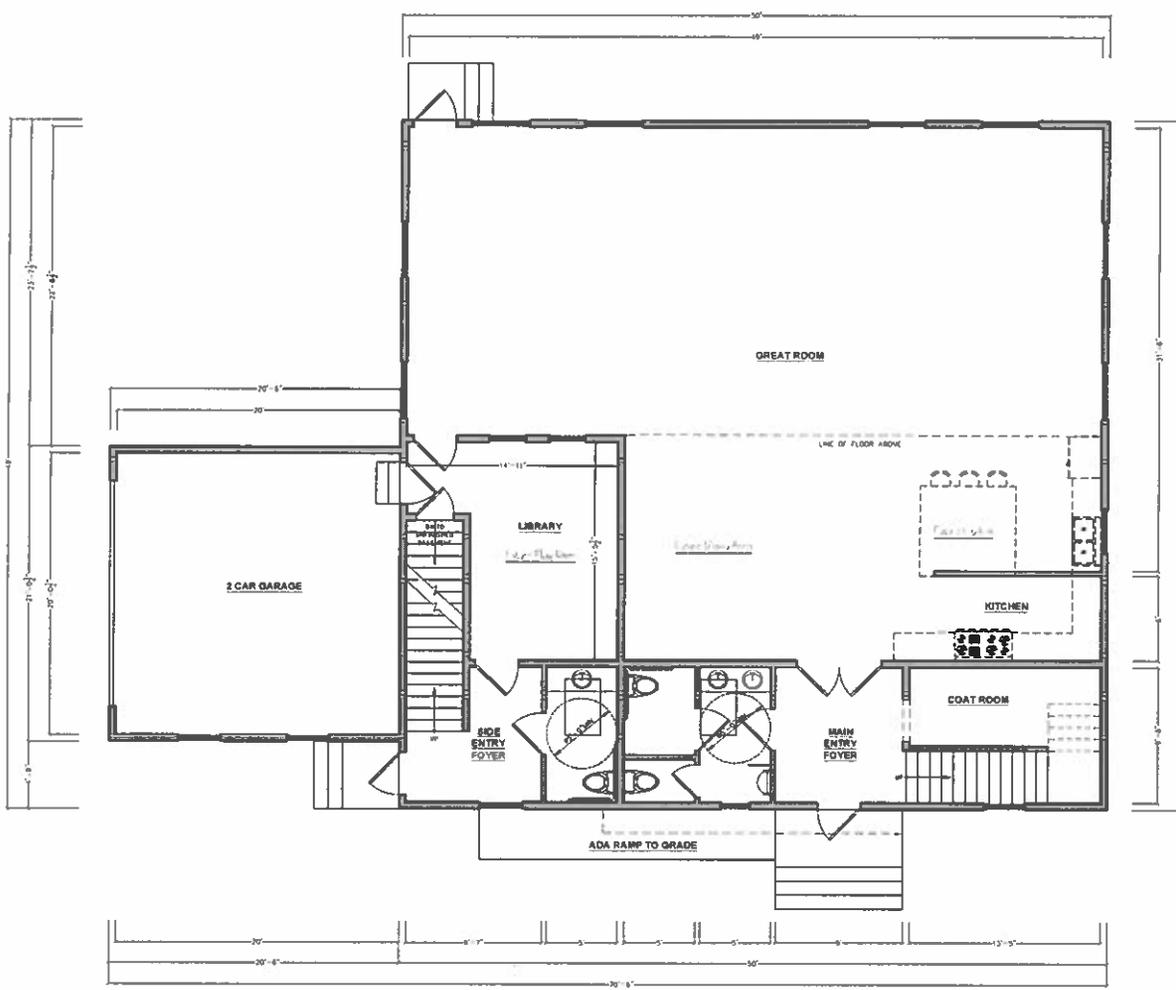
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DISTRIBUTE WITHOUT THE WRITTEN
CONSENT OF FIELDMAN ARCHITECTS
ARCHITECTS, P.C.

EXTERIOR ELEVATIONS

DATE: 05-13-2022
DRAWN BY: JLD
CHECKED BY: JLD

P2

THIS DRAWING IS THE PROPERTY OF FIELDMAN ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF FIELDMAN ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



1 FIRST FLOOR PLAN
 P3 SCALE 1/4"=1'-0"

LEGEND
 ———— INDICATES STUD WALLS AT CONSTRUCTION
 - - - - - INDICATES FUTURE STUD WALLS

Drawings prepared by the architect's independent professional liability insurer for the project. The architect shall remain liable for errors, omissions, and other professional negligence. The client shall hold the architect harmless.

SHEET 00-11-23

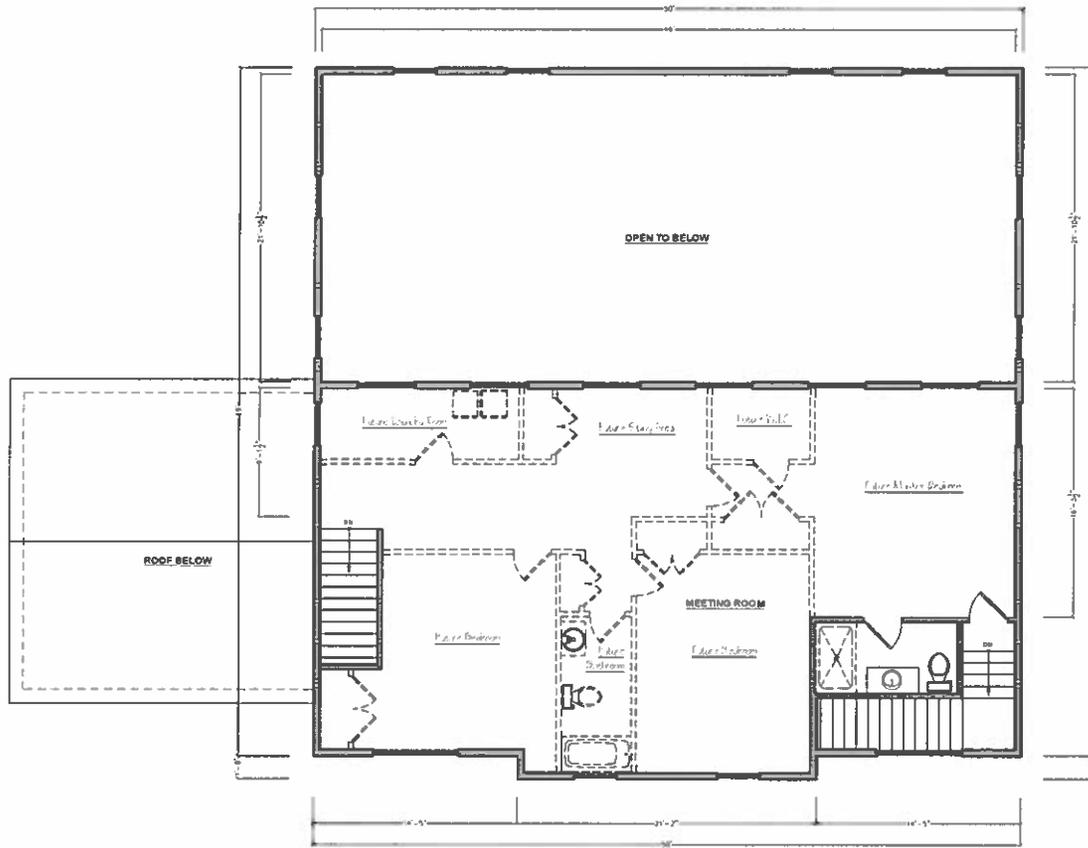


PRELIMINARY BUILDING PLAN FOR:
 CONIC, BAIS, AVERHOLD,
 2355 2561 EDGEWOOD ROAD
 BEACHWOOD, OHIO

FIRST FLOOR PLAN

SCALE 1/4"=1'-0"
 DWG BY: EQ
 SHEET 3 OF 5

P3



1 SECOND FLOOR PLAN
 P4 SCALE 1/4"=1'-0"

LEGEND

———— INDICATES STUD WALLS AT CONSTRUCTION

----- INDICATES FUTURE STUD WALLS

Discussions prepared by the architect are preliminary in nature and are subject to change without notice. The client shall not rely on them as a basis for construction. The architect shall not be held responsible for the construction of the building.

CSMED 05-12-23



FELDMAN ARCHITECTS
 2355 2943 EDGEWOOD ROAD
 BEACHWOOD, OHIO

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
 DES BY: EG
 SHEET 4 OF 5

P4

Owner: The University of Akron, 100 University Blvd., Akron, OH 44325
 Architect: Feldman Architects, 2355 2943 Edgewood Road, Beachwood, OH 44105
 Project: 2355 2943 Edgewood Road, Beachwood, OH 44105
 Date: 05-12-23

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: September 18, 2024

RE: **P&Z 2024-27 Ordinance No. 2024-63**
Bais Avrohom
2555 and 2561 Edgewood Road
Rezoning
Concept Development Plan

This request is for rezoning from U-1 Single Family Residential District to U-5 Public and Institutional District for the construction and operation of a place of worship. As required by Code, the application was filed with City Council, an ordinance was prepared, and the matter was referred to the Planning and Zoning Commission for your recommendation. The application also includes a concept development plan for the proposed use.

The subject site consists of two existing lots which contain a total of 13,200 square feet and which have a combined frontage of 110 feet on Edgewood Road. There are currently homes located on both lots. The concept plan shows removal of the two existing dwellings and construction of a new building that would conform to the building and life safety code requirements for a place of worship or place of assembly. The proposed new building is two stories and would contain a total of 3,816 square feet plus 451 square feet of garage space. The concept development plan indicates seven (7) paved parking spaces plus two (2) garage spaces. The subject site is surrounded on three (3) sides by properties that are zoned U-1 Single Family Residential District. The abutting land to the rear of the subject site is owned by the City of Beachwood and is zoned U-5 Public and Institutional District; the same district which the applicant is seeking.

As the Commission is aware, the City recently adopted modifications to the provision of the U-5 Public and Institutional District to better accommodate smaller institutional uses. The new standards were applied to the concept development plan as shown on the following Box Score.

P&Z 2024-27
 Ordinance No. 2024-63
 Bais Avrohom
 2555 and 2561 Edgewood Road
 Rezoning
 Concept Development Plan
 September 18, 2024
 Page 2

APPLICANT: Congregation Bais Avrohom

ZONING STANDARDS	REQUIRED	PROPOSED	VARIANCE
ZONING DISTRICT	U-5	U-5	
MINIMUM LOT AREA	18,000 Sq. Ft.	13,200 Sq. Ft.	4,800 Sq. Ft.
MINIMUM LOT FRONTAGE	100 Feet	110 Feet	
MAXIMUM BUILDING GROUND COVERAGE	25% or 3,300 Sq. Ft.	22% or 2,881 Sq. Ft.	
MINIMUM FRONT YARD BUILDING SETBACK	50 Feet	35 Feet	15 Feet
MINIMUM SIDE YARD BUILDING SETBACK	20 Feet 20 Feet	25.5 Feet North 14 Feet South	6 Feet South
MINIMUM REAR YARD BUILDING SETBACK	30 Feet	36 Feet	
MAXIMUM BUILDING HEIGHT	40 Feet	33 Feet	
MINIMUM PARKING SETBACKS	Front = 20 Feet Side = 10 Feet Side = 10 Feet Rear = 30 Feet	Front = 20 Feet Side = 24 Feet Side = 50 Feet Rear = 5 Feet	Rear = 25 Ft.
MINIMUM OFF-STREET PARKING	13 Spaces	9 Spaces	4 Spaces

The proposed structure, while being designed to meet institutional use life safety standards, has also been designed with an exterior façade that has a residential character. The concept development plan provides for a driveway and parking on the north side of the proposed building. The plan indicates landscaping and screening of the adjacent residential properties to the north and south. The location and design of the parking area, indicates an effort to fit into the residential neighborhood.

The concept development plan would require several variances, including a lot area variance. The largest variance is the rear parking variance, but that is somewhat mitigated by the fact that it is adjacent to other U-5 property. The applicants have indicated that they attempted to acquire additional land to the rear from Fairmount

P&Z 2024-27
Ordinance No. 2024-63
Bais Avrohom
2555 and 2561 Edgewood Road
Rezoning
Concept Development Plan
September 18, 2024
Page 3

Temple to expand their site, as other homeowners on the street have done, prior to the sale of the Temple property.

It appears that it is possible to reconfigure the concept plan to reduce or eliminate most of the variances with the exception of the lot area variance and building setback from the rear lot line where the site abuts existing U-5 District property. One such reconfiguration would more closely meet the Code requirements, but would place a parking lot in front of the building. A second design option would involve creating a one-way traffic pattern around the building to achieve more parking.

Should the Commission determine that the use is simply not appropriate at this location, it could make a negative recommendation to City Council. Should the Commission wish to explore alternative concept development plans for the property that might better conform to the Code and minimize impacts prior to making a recommendation to City Council, the matter could be tabled to give the Staff an opportunity to explore design options with the applicant prior to the meeting.



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MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 11

P & Z 2024-27 Ordinance No. 2024-63, Re-Zoning 2555 Edgewood Road, Beachwood Ohio 44122 (PPN 741-08-036) and 2561 Edgewood Road, Beachwood Ohio 44122 (PPN 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District (Referred from Council 8/20/2024).

There are no engineering Comments on this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-27 2555 Edgewood Rd and 2561 Edgewood Rd (Rezoning)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

INTRODUCED BY:

ORDINANCE NO. 2024-

AN ORDINANCE AMENDING SECTION 1111.03 TITLED “PROHIBITED USES”, OF THE CITY OF BEACHWOOD, OHIO PLANNING AND ZONING CODE

WHEREAS, an amendment to BCO Section 1111.03 of the City of Beachwood, Ohio Planning and Zoning Code has been requested; and

WHEREAS, Council refers requested amendments to its Planning and Zoning Commission for study and a report and recommendation in accordance with BCO 1107.01.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio, that:

Section 1: The Council of the City of Beachwood, having received a request for amendments to the City’s Planning and Zoning Code, a copy of which is attached hereto and incorporated herein as Exhibit “A”, places this issue and said proposed amendments on first reading and refers the proposed amendments to the Planning and Zoning Commission for its report and recommendation.

Upon Council’s receipt of the recommendation of the Planning and Zoning Commission the issue of amending BCO Section 1111.03, of the City of Beachwood, Ohio Planning and Zoning Code shall be set for Public Hearing or referred to the Planning and Zoning Committee of Council.

If referred to a Public Hearing, said Public Hearing shall be held no less than 30 days after referral.

If referred to a Committee of Council, a Public Hearing shall be set after receipt of the report of the Committee.

This Ordinance shall be read by Council on three separate occasions and its passage shall cause the Proposed Amendment to become effective upon operation of the law.

Section 2: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the __ day of_____, 2024 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the day of__ day of_____, 2024.

Clerk

Approval: I have approved this legislation this____day of_____, 2024 and filed it with the Clerk.

Mayor

EXHIBIT A

1111.03 PROHIBITED USES.

(a) The following uses shall be prohibited in any Use District:

- (1) Billboards and advertising devices except signs advertising premises for sale, lease or rent, upon which premises such sign is located, or for advertising the business conducted in the building upon which such sign is placed.
- (2) Garbage, dead animals or offal disposal or reduction plant.
- (3) Slaughtering of fowls and/or animals.
- (4) Crematories, mortuaries (funeral homes).
- (5) Penal and correctional institutions.
- (6) Lumber, coal or building supply yards.
- (7) Scrap iron or junk storage, scrap paper or rag storage or baling, junk or used automobile yard or storage.
- (8) Manufacturing or other business, which by reason of noise, smoke, vibration, odor or its inherent nature may constitute or may threaten to become a public nuisance or may endanger the public health, safety and general welfare.
- (9) Motor freight depot.
- (10) Trailer camp or park.
- (11) Used car lot or used car sales, except in conjunction with an automobile sales agency selling new automobiles.
- (12) Drive-in theaters.
- (13) Restaurants with drive-thru facilities
- (14) The sale of firearms and/or ammunition in any residential zoning district, provided however, that any person who has established a legal nonconforming use to sell firearms and/or ammunition prior to the effective date of this provision may continue to sell firearms and/or ammunitions provided that they maintain all applicable State and Federal permits and licenses. The nonconforming use may not be increased, enlarged, expanded, moved to another residential location, or transferred to another individual.
- (15) Retail medical marijuana facilities, provided however, that Licensed Health Care Facilities may dispense medical marijuana as authorized by the State of Ohio.
- (16) **Commercial** Cultivation and/or Processing, **Distribution, or Sale of Adult use Cannabis**



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MEMORANDUM
CITY OF BEACHWOOD
PLANNING AND ZONING COMMISSION MEETING

Meeting Date: September 26, 2024

Report Date: September 17, 2024

2024120.01

To: Mr. Brian Roenigk
Building Commissioner

From: Joseph R. Ciuni, P.E. P.S.
City Engineer

AGENDA ITEM NO. 12

P & Z 2024-33 An Ordinance amending Section 1111.03 titled "Prohibited Uses", of the City of Beachwood Ohio Planning and Zoning Code

There are no Engineering Comments on this item.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 09/11/2024
Re: P&Z # 2024-33 Ordinance Amendment

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has not questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief